

10.700 Charlotte Amalie District

This Section contains regulations that impact the design and character of preservation/restoration, development and redevelopment within the Charlotte Amalie District.

10.701 Purpose & Intent

The Charlotte Amalie District Code shall be used to implement the vision established through a community-driven planning process called *The Town's Blueprint*, as further described below. The purpose of the Charlotte Amalie District Code is to preserve, shape, and create high-quality public spaces with buildings and other physical features to build upon the existing urban form found in historic Charlotte Amalie.

10.701.A The Big Ideas

The “Big Ideas” generated through *The Town's Blueprint* planning process describe both the citizenry’s vision for the future of their town and the basics of planning for highly livable settlements. These ideas will guide planning in Charlotte Amalie to ensure that future improvements and land use decisions are true to the community’s vision. The Big Ideas are:

10.701.A.1 Reaffirm & Protect the Traditional Way of Building

The Charlotte Amalie District Code describes those key aspects of the urban realm that impact the character of a place, such as building placement, height, and architectural detailing, using the historic buildings and public spaces existing in town as precedents to establish the rules and regulations.

10.701.A.2 Transform the Waterfront into the Finest Public Space in the Caribbean

It is essential that the waterfront be pedestrian-friendly, to attract residents and tourists alike to enjoy the scenic vistas, and connect the town to its waterfront. The Charlotte Amalie District Code specifies design details that keep pedestrian comfort and the creation of high-quality public open spaces at the forefront.

10.701.A.3 Connect

Pedestrians, bicyclists, taxis, transit and harbor transportation vessels should all be welcome, and streets and public infrastructure should be designed to accommodate all of these users. Subsection 10.707 Street Standards addresses the design of streets to balance the needs of vehicles and pedestrians and restore multi-modal connectivity to Charlotte Amalie.

10.701.A.4 Make Walkability the First Priority in Design

The core of the historic Town should be the most walkable place on St. Thomas. To achieve walkability and accessibility, different approaches to transportation design and, specifically, unique thoroughfare types and transportation policies that complement the context are specified by the Charlotte Amalie District Code.

10.701.A.5 Control the Scale; Small is Beautiful

Preserving a range of sizes for neighborhood homes and businesses will help to ensure that Charlotte Amalie can continue to house a diverse population. The island's regulations for parking and setbacks made it difficult to build similarly to many of the historic buildings. This section of the Code aims to make it easier for homeowners on small lots to fix up and rehabilitate their structures.

10.701.A.6 Bring Town to Life at Night & Foster Overnight Stays

Once cruise ship passengers depart for the day, many of the storefronts close, leaving the waterfront area deserted until store owners return the following morning. This Code, consequently, aims to improve elements of the public realm related to parking, transportation, and safety concerns, to return activity to Charlotte Amalie during both the day and evening.

10.701.A.7 Embrace our Diversity & Improve Quality of Life for All

Investment in rehabilitation or revitalization should be for the benefit of existing Charlotte Amalie property owners and residents, as well as the greater St. Thomas community. The Charlotte Amalie District Code is intended to facilitate reinvestment in the town by employing straightforward easy to understand regulations aimed at restoring vibrancy to the historic town.

10.701.B Charlotte Amalie Illustrative Plan

The Illustrative Plan for Charlotte Amalie created during the December 2010 charrette shows one way in which the Big Ideas could be applied in the built environment. The plan illustrates approaches to physically accommodate desired elements and proposes strategic additions to the neighborhoods and waterfront areas to make the town more complete. Detailed information about interventions drawn, including concepts for implementation, can be found in *The Town's Blueprint* Summary Report.



Fig. 10.701.1 – Charlotte Amalie Illustrative Plan

Note: This plan is not regulatory and is included for advisory purposes only. It demonstrates the community vision established during the December 2010 charrette, on which many standards in this section of code were based.

10.702 Administration

10.702.A General Provisions

10.702.A.1 The regulations of this Section apply to all development, by public or private entities, within the Charlotte Amalie District Boundary as delineated on the Regulating Plan (Subsection 10.703).

10.702.A.2 In the case of conflict between the standards set forth in the Charlotte Amalie District Code and any other local land development regulation, these standards shall apply. To the extent that the Charlotte Amalie District Code is silent where other land development regulations govern, they shall apply. Building construction, by public or private entities, shall conform to the applicable building codes and regulations of the United States Virgin Islands.

10.702.A.3 The photographs and diagrams contained in this Code are meant to demonstrate the design principles stated herein and the character intended for the Charlotte Amalie District, but are for illustrative purposes only. The accompanying text and numbers are rules that govern permitted development.

10.702.A.4 All nonconforming buildings and uses within the Charlotte Amalie District shall be subject to the standards set forth by this Code in accordance with Article 6, defining Nonconformities. In the event that a structure undergoes changes, upgrades or additions which affect the exterior appearance of the structure (excluding maintenance / repair of existing conditions), such improvements shall conform to the provisions of this Code, and shall not increase the overall degree of nonconformity on the site.

10.702.B How to use the Charlotte Amalie District Code

10.702.B.1 The following describes how to determine which regulations apply to a proposed development in the Charlotte Amalie District:

- (a) Find the lot on the *Regulating Plan* (10.703) and identify the *Sub-district* into which the lot is located. Note if the lot has been designated as part of the Charlotte Amalie Waterfront District Overlay, or given a Primary Frontage assignment (if so, additional specifications in this code shall apply).

- (b) Next, review the *Sub-district Standards* (10.704) for specific provisions that regulate the lot within its assigned *Sub-district*.
- (c) Examine the *General Standards* (10.705) which contain standards for urban form that apply to all Sub-districts.
- (d) Review the *Architectural Standards*, (10.706) which contain regulations for buildings.
- (e) Finally, review the *Street Standards* (10.707) if the new development includes improvements to the street network.

10.702.C Review and Decision-making Bodies

The Charlotte Amalie District code contains standards to regulate all aspects of the urban realm, including Architectural Standards and Thoroughfare Standards. Review and decision-making bodies should be informed by those Territorial divisions and departments most equipped to determine compliance. The following provisions shall be in addition to those established in Article 4 (Review and Decision-making Bodies) for any development in the Charlotte Amalie District.

10.702.C.1 The Zoning Administrator (or his/her designee) shall be responsible for reviewing new applications for compliance with the Regulating Plan, Sub-district Standards, General Standards, and Thoroughfare Standards. Members of the Technical Review Committee shall advise the zoning administrator regarding technical compliance with these standards, when requested.

10.702.C.2 The St. Thomas-St. John Historic Preservation Committee shall be responsible for reviewing and approving applications for compliance with the Architectural Standards (10.706) prior to approval from the Zoning Administrator.

10.702.D Submittal Requirements

The Zoning Administrator shall maintain a checklist of application submittal requirements and make the checklist available to the public. Application forms and checklists of required submittal information are available in the Planning Office. All applications must comply with the provisions of Article 5 (Development Review and Approval Procedures).

10.703 Regulating Plan

The Town's Blueprint included an assessment of Charlotte Amalie's existing conditions and a public planning process, and has resulted in an Illustrative Master Plan that can be used to guide future preservation and infill/development in the District (Subsection 10.701.B). The Regulating Plan and designated Sub-districts are derived from this vision for the future of historic Charlotte Amalie.

Traditional towns and neighborhoods have physical forms that vary in character and intensity. Future preservation and development in the Charlotte Amalie District is to be guided using the five Sub-districts designated on the Regulating Plan. These Sub-districts (described in Sub-section 10.703.4) contain regulations fitting with the existing historic context. The Regulating Plan also designates Primary Street Frontages; these streets are to be held to the highest standards for urban form and architectural detailing. Specific regulations for lots that face Primary Street Frontages are identified in subsequent Subsections.

Charlotte Amalie has a unique waterfront condition, with long narrow warehouse buildings that front multiple streets, resulting from its history as a port. The Charlotte Amalie Waterfront Overlay Regulating Plan (Fig. 10.703.5) contains additional specifications for lots in this area.

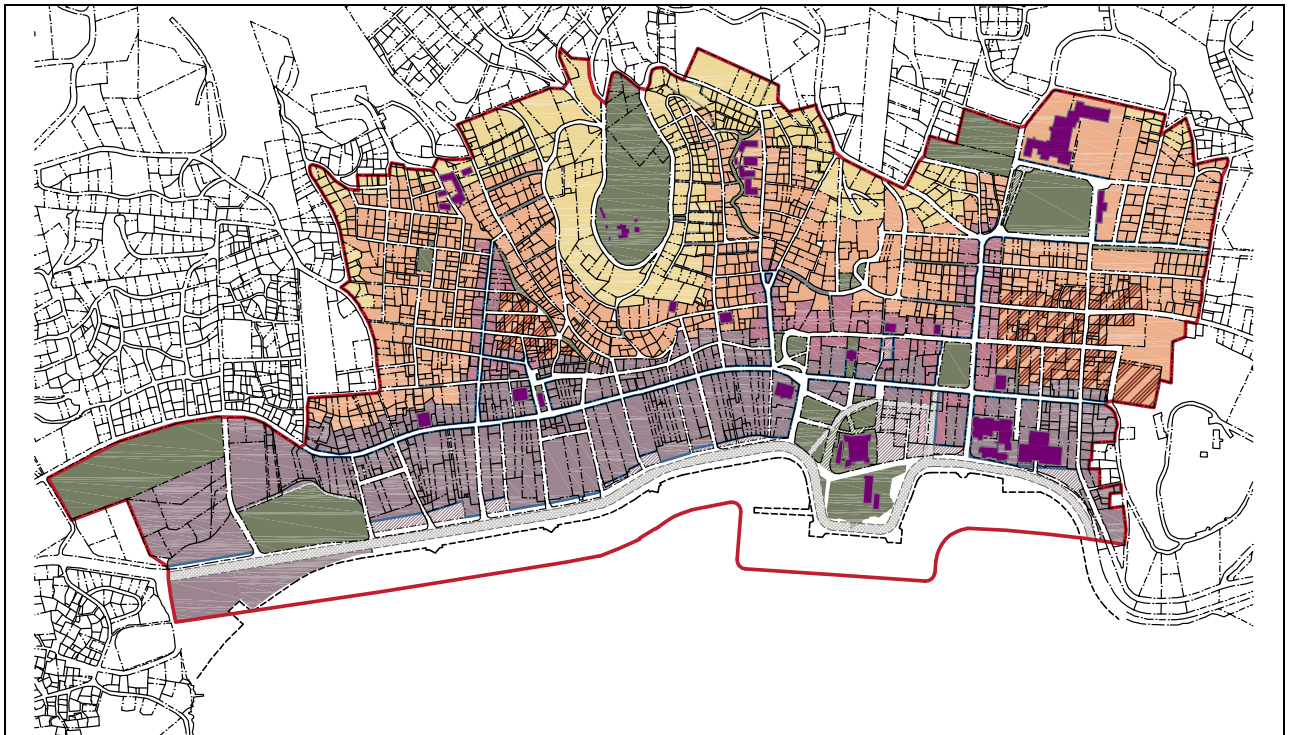
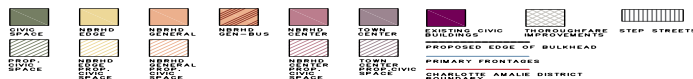


Fig. 10.703.1 – Charlotte Amalie District Regulating Plan; refer to Fig. 10.703.2 – 10.703.4 on the following pages to review plan details.



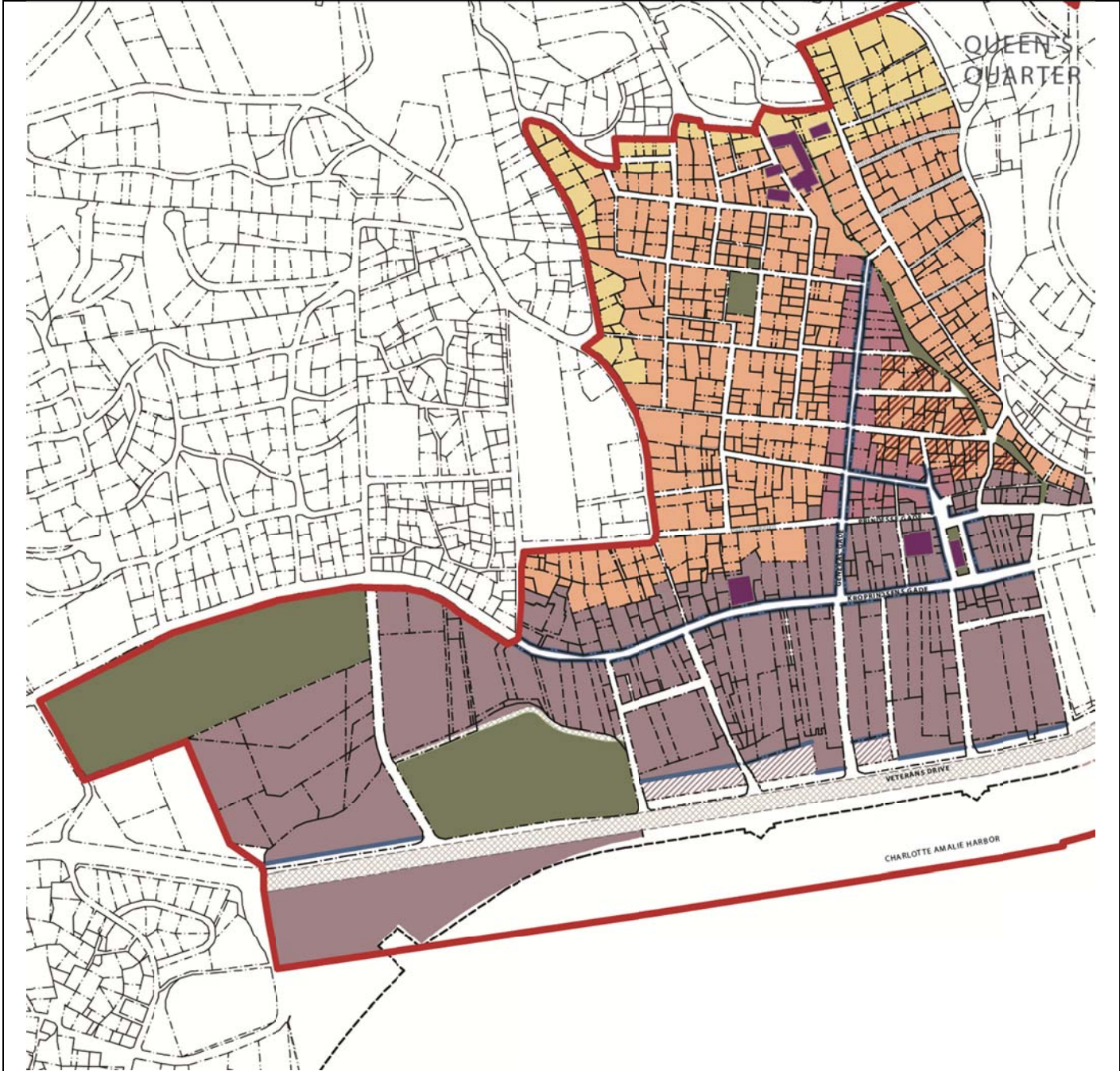
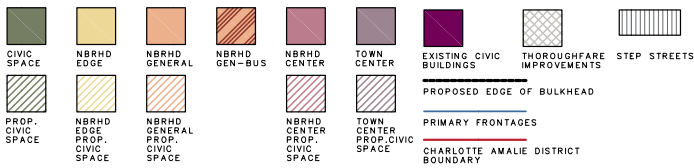


Fig. 10.703.2 – Regulating Plan Highlighting Crown Prince’s Quarter

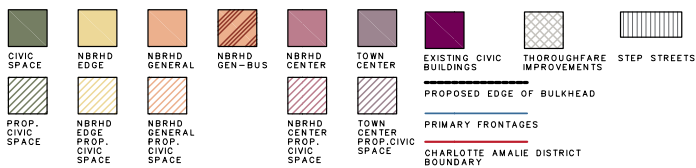


Regulating Plan notes:

1. Property lines are approximate, and shall be verified at time of application by survey.
2. Proposed civic spaces are new public open spaces identified in the Town’s Blueprint Illustrative Plan; in cases where these lots are under private ownership, the underlying sub-district standards may apply until the lot is utilized as a public space.



Fig. 10.703.3 – Regulating Plan Highlighting Queen’s Quarter



Regulating Plan notes:

1. Property lines are approximate, and shall be verified at time of application by survey.
2. Proposed civic spaces are new public open spaces identified in the Town’s Blueprint Illustrative Plan; in cases where these lots are under private ownership, the underlying sub-district standards may apply until the lot is utilized as a public space.

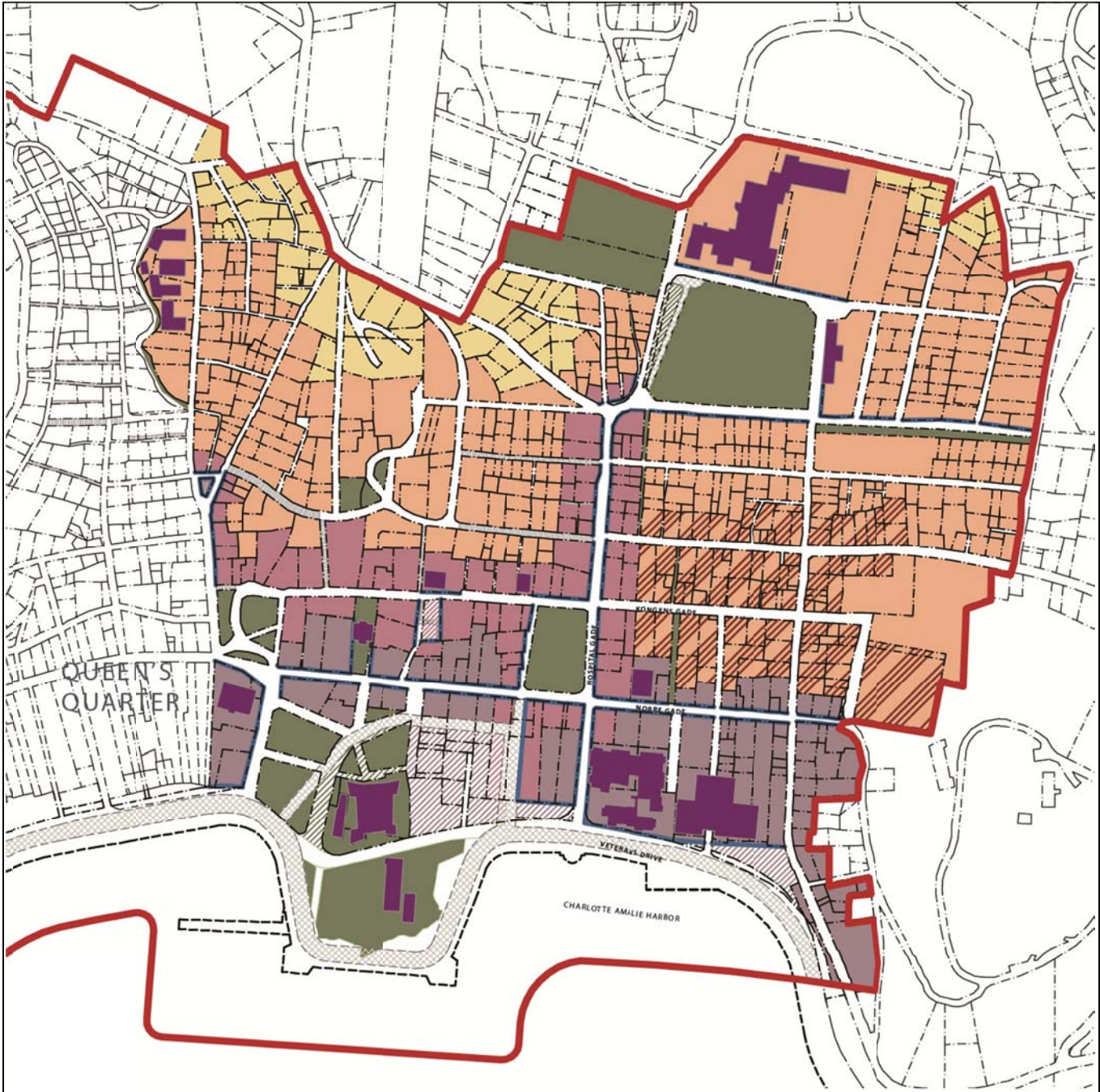
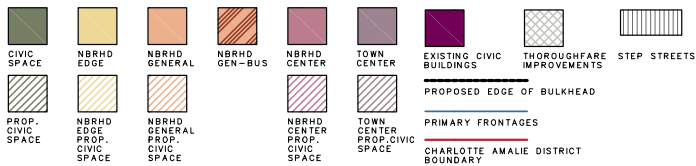


Fig. 10.703.4 – Regulating Plan Highlighting King’s Quarter



Regulating Plan notes:

1. Property lines are approximate, and shall be verified at time of application by survey.
2. Proposed civic spaces are new public open spaces identified in the Town’s Blueprint Illustrative Plan; in cases where these lots are under private ownership, the underlying sub-district standards may apply until the lot is utilized as a public space.

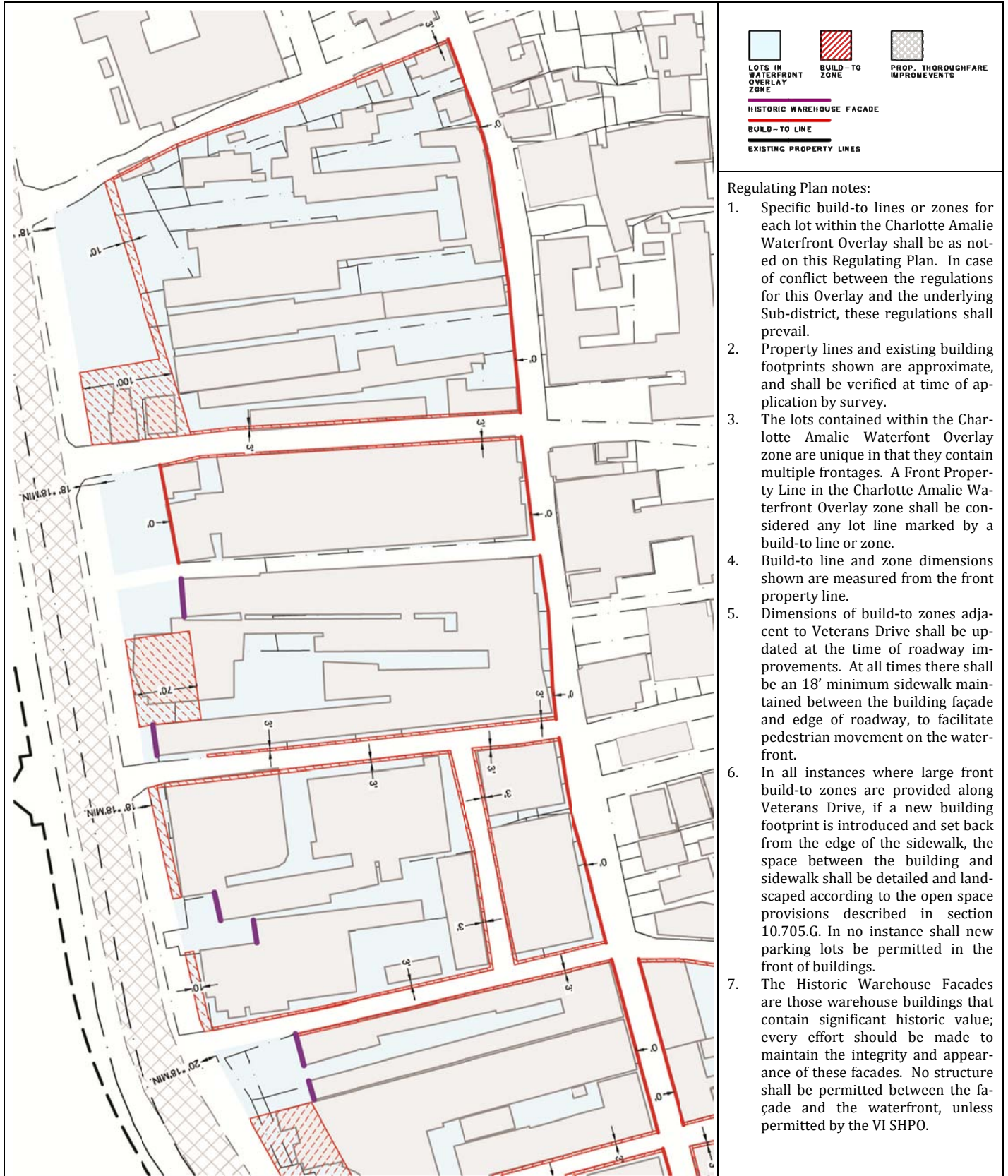


Fig. 10.703.5 – Waterfront Overlay, west section (Nye Tvaer Gade to Gutters Gade)

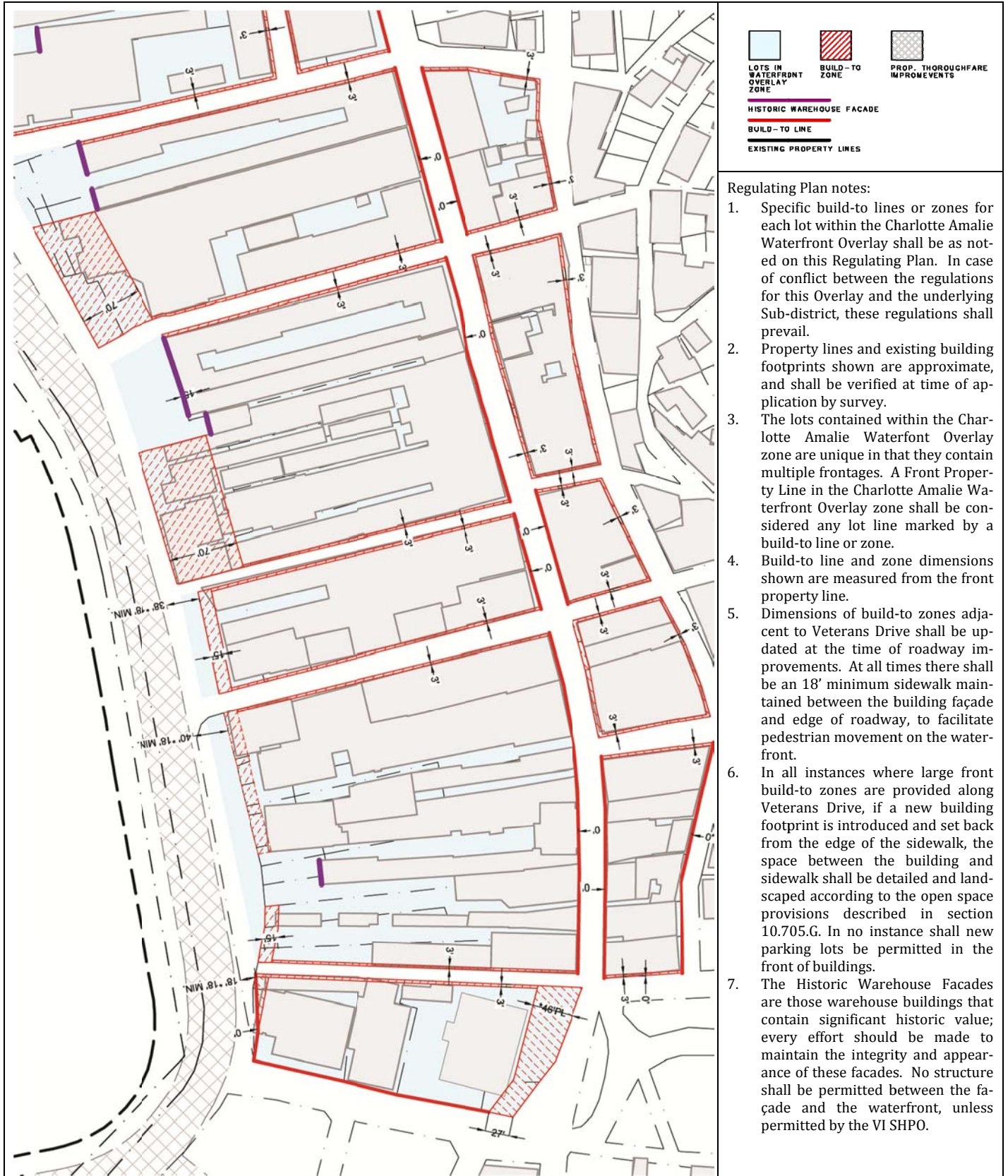


Fig. 10.703.6 - Waterfront Overlay, east section (Gutters Gade to Tolbod Gade)

10.704 Sub-district Standards

Great towns and neighborhoods feature a wide range of building types and street scenes of varied character that differ from center to edge, for example, in building height, distance between buildings, and land use intensity. The center of a neighborhood usually includes a more compact development pattern of mixed-use buildings and varied thoroughfares. The center has more compact uses than the general and edge areas. This delicate gradient from center to edge provides visual variety as well as a variety of housing options. All land within Charlotte Amalie must be allocated to one of the five Sub-districts described in this Subsection:

- Town Center Sub-district (10.704.A)
- Neighborhood Center Sub-district (10.704.B)
- Neighborhood General Sub-district (10.704.C)
- Neighborhood Edge Sub-district (10.704.D)
- Civic Space Sub-district (10.704.E)

The placement and intensity of buildings and other uses of land are regulated based on the Sub-district in which they are located. The general standards for each Sub-district are described in this section.

In addition, the Charlotte Amalie Waterfront Overlay (10.704.F) provides additional regulations for the waterfront warehouse lots located in the Town Center Sub-district (as delineated on the Charlotte Amalie Waterfront Overlay Regulating Plan, fig.10.703.5).

The Sub-district Standards includes Standards specific to each Sub-district which control building placement and massing. Subsection 10.705 General Standards includes regulations which are applicable to all Sub-districts.

Thoroughfares and their design elements are also uniquely tied to each Sub-district. This ensures that thoroughfares are subordinate to and compatible with desired community character. Subsection 10.707 contains the standards for thoroughfares, based upon the Sub-districts established on the Regulating Plan.

This Subsection also contains the permitted uses associated with each Sub-district (see 10.704.G).

10.704.A Town Center Sub-district

The Town Center Sub-district is Charlotte Amalie's most intense and commercially-oriented area. This Sub-district contains many of historic Charlotte Amalie's most recognizable tourist destinations, as well as offices and businesses that serve residents throughout St. Thomas.

The Town Center Sub-district allows a mix of commercial, office, entertainment, and residential uses, and features primarily attached buildings. Multi-story buildings are designed for changing uses over time. Walkability should be greatest in this zone, with widest sidewalks, ample on-street parking, buildings located to form a continuous, consistent streetwall, and shade from awnings, overhead balconies, or street trees. Parking may be located on-street or in a centralized location, within easy walking distance of shops and businesses.

Front Build-to-Zone	0 ft to 5 ft (<i>from front property line</i>)
Rear Setback	0 ft min. (<i>from rear property line</i>)
Side Setback	0 ft min. 5 ft max. (<i>from side property line</i>)
Building Height	2 stories <i>or</i> 1 story at 18' min. 3 stories, 53 feet max.
Building Coverage	100% of lot area max.
Frontage Buildout	90% - 100%

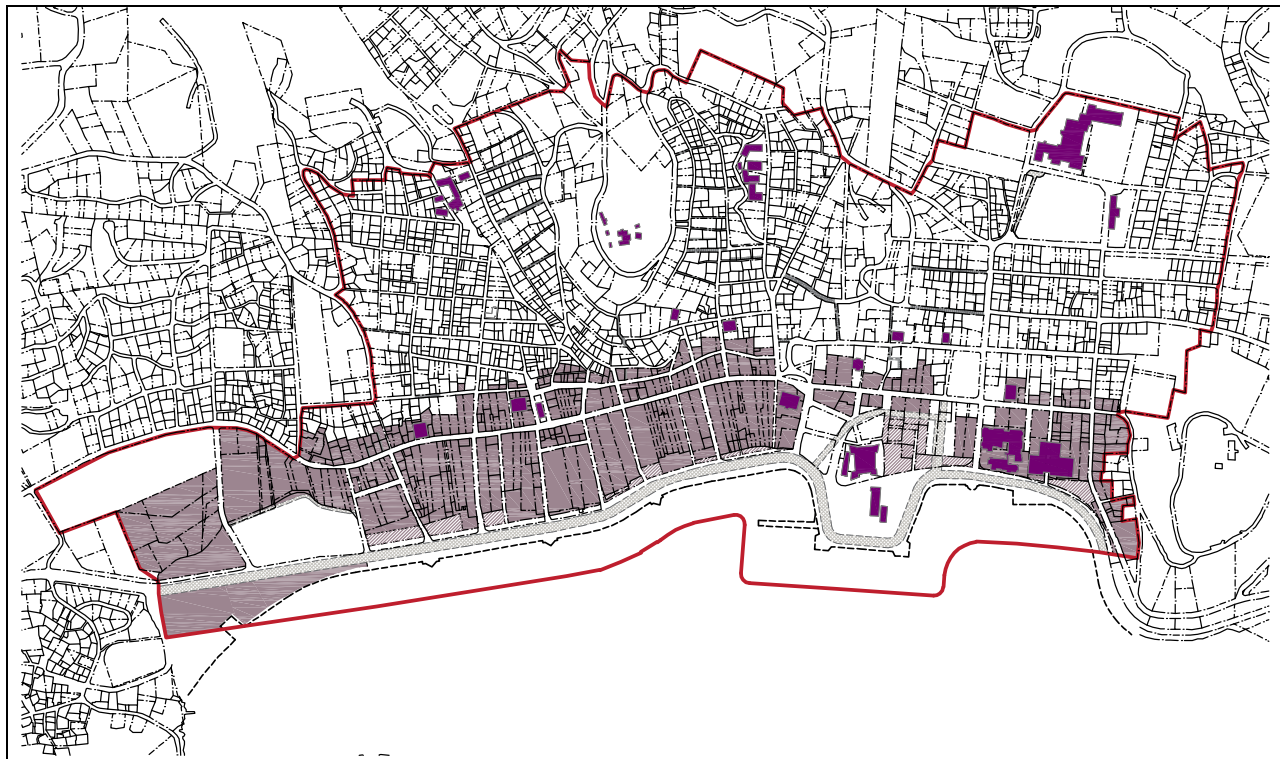


Fig. 10.704.1 – Town Center Sub-district Areas (*identified in purple; refer to section 10.703 for details*)

10.704.B Neighborhood Center Sub-district

Within the neighborhoods of Charlotte Amalie, there are areas which feature a greater range of building types (many of them attached) as well as neighborhood serving commercial establishments. The Neighborhood Center Sub-district is spatially compact and is more likely to have attached buildings compared to Neighborhood General and Neighborhood Edge Sub-districts. There is a mix of uses permitted, with neighborhood-oriented commercial or retail establishments nestled among surrounding homes. Multi-story buildings are well-suited to accommodate a mix of uses, such as apartments or offices above shops. Walkability is a high priority here; streets should contain usable sidewalks, on-street parking, and buildings that form a continuous street-wall. Parking may be provided on-street or in a centralized location, within easy walking distance of shops and businesses.

Front Build-to-Zone	0 ft to 5 ft <i>(from front property line)</i>
Rear Setback	0 ft min. <i>(from rear property line)</i>
Side Setback	0 ft min. 5 ft max. <i>(from side property line)</i>
Building Height	2 stories <u>or</u> 1 story at 18' min. 3 stories, 53 feet max.
Building Coverage	90% of lot area max.
Frontage Buildout	90% - 100%

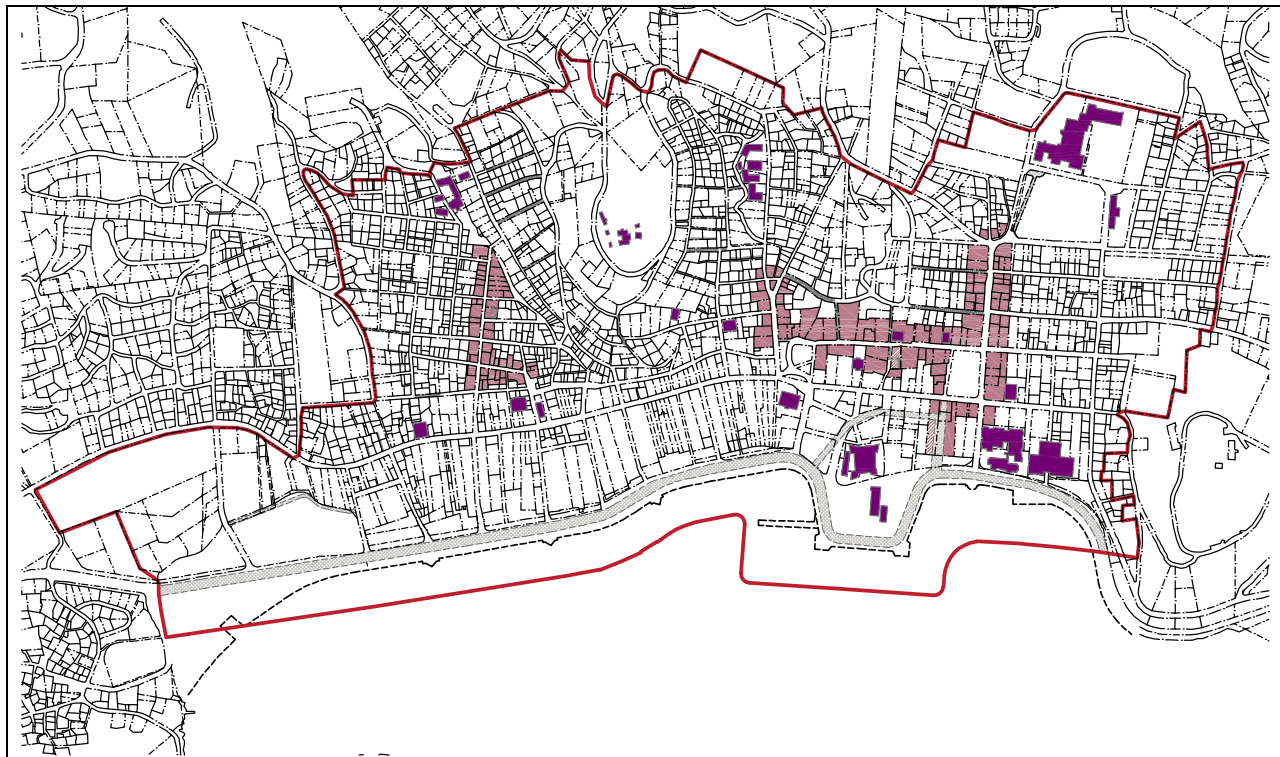


Fig. 10.704.2 – Neighborhood Center Sub-district Areas (identified in red; refer to section 10.703 for details)

10.704.C Neighborhood General Sub-district

The Neighborhood General Sub-district contains the largest area of the Charlotte Amalie District. Homes located in the Neighborhood General Sub-district may be set on the front property line; however, some homes are set back to allow a small yard with a porch or stoop. This varying streetwall gives this zone a less urban character than the Neighborhood and Town Center Sub-districts. The Neighborhood General Sub-district is primarily residential, although there are a few streets that today contain a mixture of homes and businesses. These areas have been designated with a Neighborhood General Business Overlay. The urban form (building-to-street relationship and overall building massing) is the same as in other Neighborhood General areas, but with a greater flexibility of use.

Front Build-to-Zone	0 ft to 10 ft <i>(from front property line)</i>
Rear Setback	0 ft min. <i>(from rear property line)</i>
Side Setback	0 ft min. 5 ft max. <i>(from side property line)</i>
Building Height	1 story min. 3 stories, 53 feet max.*
Building Coverage	80% of lot area max.
Frontage Buildout	70% - 100%

*Buildings on the uphill side (average site grade more than 3 feet greater than the grade of the street) of the street may have 3 stories at or above the grade of the adjacent street. Buildings on the downhill side (average site grade more than 3 feet less than the grade of the street) of the street may have up to 2 stories at or above the grade of the street. The Zoning Administrator shall make final determination on whether a building site is considered "uphill" or "downhill".

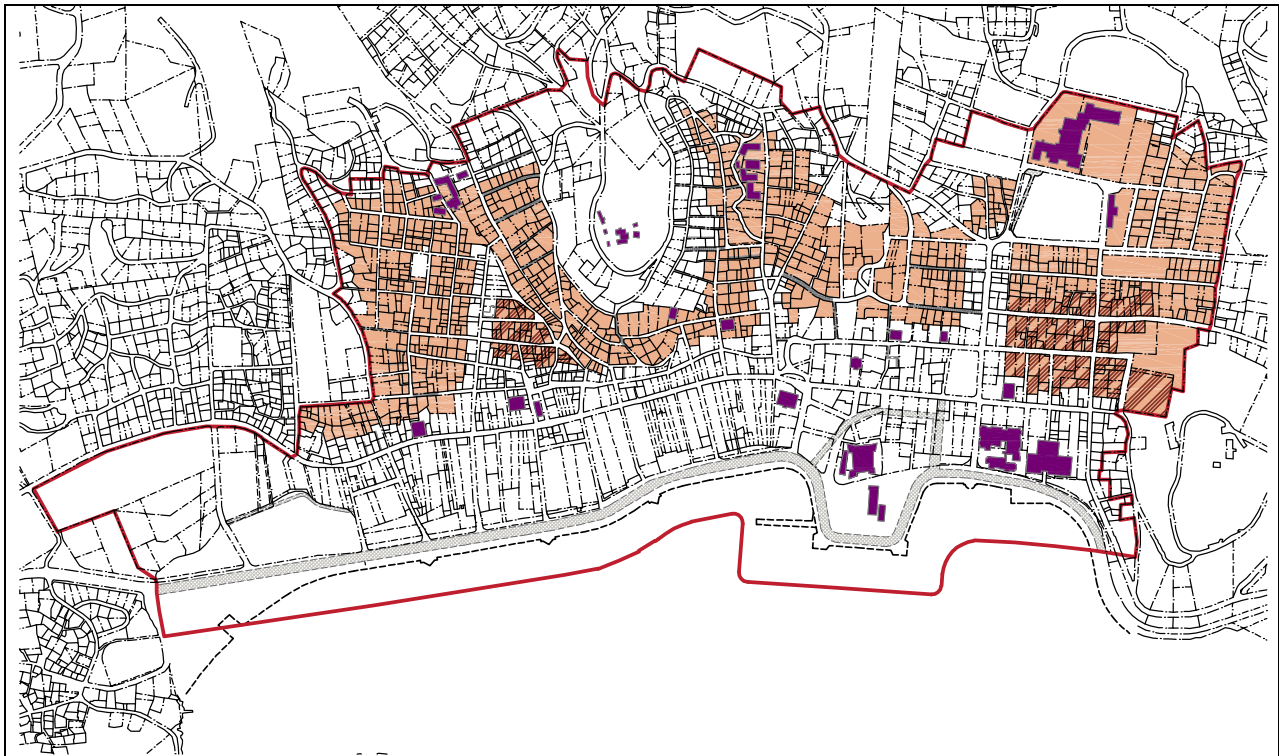


Fig. 10.704.3 – Neighborhood General Sub-district Areas (identified in orange; refer to section 10.703 for details)

10.704.D Neighborhood Edge Sub-district

The hills which separate and shape Charlotte Amalie's neighborhoods greatly affect the built form of structures on the edge of each area. Further uphill where the topographic change is most dramatic, changes occur to the lot configuration and building design and placement to accommodate steep slopes. The Neighborhood Edge Sub-district's intent is to protect the character of hillside development within the neighborhoods of Charlotte Amalie.

The Neighborhood Edge areas have the least activity and are residential in character, with detached buildings and less intense development than other Sub-districts. Building-to-street relationships may vary to allow for best placement on steep slopes; thus, the urban character is the least formal in this area.

Front Build-to-Zone	8 ft to 16 ft (from front property line)
Rear Setback	5 ft min. (from rear property line)
Side Setback	5 ft min. no max. (from side property line)
Building Height	1 story min. 3 stories, 53 feet max.
Building Coverage	50% of lot area max.
Frontage Buildout	50% - 80%

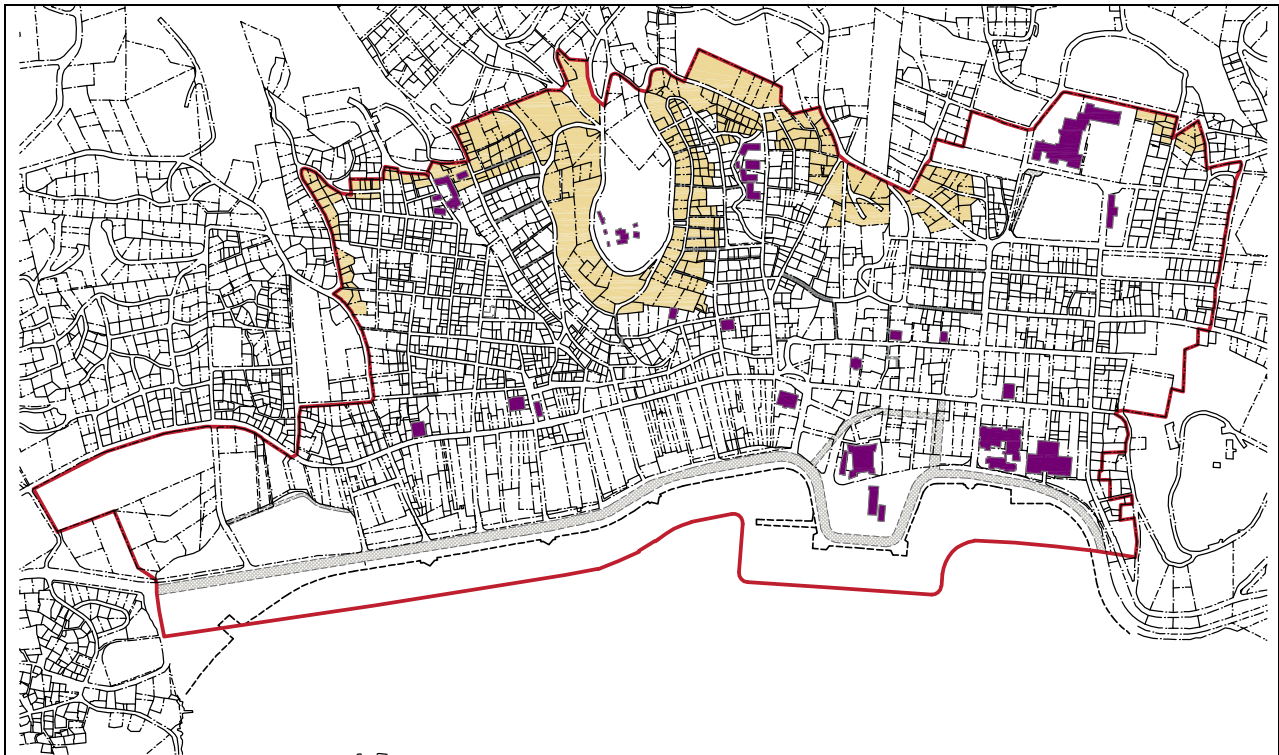


Fig. 10.704.4 - Neighborhood Edge Sub-district Areas (identified in yellow; refer to section 10.703 for details)

10.704.E Civic Space Sub-district

The Civic Space Sub-district is intended to be used for community purposes; examples of uses permitted include playgrounds or play fields, public open spaces (such as parks, greens, and plazas), a marina, school, or church. This space is typically used to provide areas for active and passive recreation, community gathering, site drainage and water retention, community gardens, and natural vegetation. Structures that are accessory to the uses permitted in this Sub-district, such as pavilions, restrooms, and utility buildings, shall be approved at the discretion of the Zoning Administrator.



Fig. 10.704.5 – Civic Space Sub-district Areas (identified in green; refer to section 10.703 for details)

10.704.F Charlotte Amalie Waterfront Overlay

Due to its history as a working waterfront, Charlotte Amalie is home to a unique linear warehouse building type along its harbor. The long, linear buildings span from the waterfront approximately 400 feet to Dronningens Gade (Main Street). Prior to the construction of Veterans Drive, these warehouses backed up directly to the water's edge and served the ships which docked in the port. The harbor side of the buildings functioned as service and storage spaces, while the Main Street shopfronts provided a place to sell wares.

After the closure of the working waterfront and the introduction of Veterans Drive, the warehouses were retrofitted to house a variety of shops and restaurants that serve the tourism industry. One of the most interesting aspects of the warehouse buildings are their courtyards, light courts, paseos, and passageways which connect Veterans Drive with Main Street. These spaces are also home to shops and restaurants and create intimate areas that serve as an escape from the activity of Main Street and Veterans Drive.

The Charlotte Amalie Waterfront Overlay regulations are intended to preserve the character of the Charlotte Amalie waterfront and its historic warehouses while enhancing the public realm and pedestrian spaces along the waterfront. As the lots which contain these unique building types have multiple frontages of pedestrian importance, specific build-to lines or zones shall be as noted in the Charlotte Amalie Waterfront Overlay Regulating Plan (Fig. 10.703.5 and 10.703.6).

In case of conflict between the regulations for this Overlay and the underlying Sub-district, these regulations shall prevail.

10.704.G Permitted Uses*

<input checked="" type="checkbox"/> By Right <input type="checkbox"/> By Special Approval	Town Center	Nbrhd. Center	Nbrhd. General	Nbrhd. Gen. Bus. Overlay	Nbrhd. Edge	Civic Space
Residential						
Accessory Building	■	■	■	■	■	
Apartment Building	■	■	■	■	■	
Dwelling, Duplex or Multi-Family	■	■	■	■	■	
Dwelling, Single-Family, attached	■	■	■	■	■	
Dwelling, Single-Family, detached			■	■	■	
Home Occupation / Flex Building		■	■	■	□	
Mixed-Use Building	■	■	□	■		
Nursing Home	■	■	□	□	□	
Religious Quarters	■	■	■	■	■	□
Lodging						
Hotel (no room limit)	■					
Bed & Breakfast (up to 5 rooms)		■	■	■	■	
Inn (up to 12 rooms)	■	■	■	■	□	
School Dormitory	■	■	■	■	□	□
Office						
Office Building	■	■	□	■		
Home Occupation		■	■	■	□	
Mixed-Use Building	■	■	□	■		
Retail						
Outdoor Market	■	□	□	□	□	
Artist Studios / Gallery	■	■	■	■		
Bar or Liquor Serving Establishment	■	□				
Drive-thru Facility	□	□				
Food Cart / Refreshment Stand	■	□	□	□		
Gas Station / Automobile Service	□	□				
Kiosk	■	□				
Mixed-Use Building	■	■	□	■		
Restaurant	■	■	□	■	□	
Retail (goods or services)	■	■	□	■		
Civic / Entertainment						
Bus Shelter	■	■	■	■	■	■
Cemetery						□
Church	□	■	■	■	■	□
Convention/Conference Center	■	□				
Fire station	■	■	□	□	□	□
Fountain or Public Art	■	■	■	■	■	■
Funeral Home	■	■	□	□	□	□
Gym	■	■				
Hospital	■	□	□	□	□	
Library	■	■	□	□		□
Marina	□					□

Medical Clinic	■	■	□	□		
Museum	■	□	□	□		□
Outdoor Auditorium	□	□	□	□	□	□
Parking Structure	■	□				□
Play Fields						□
Playground	■	■	■	■	■	■
Police Station or Sub-station	■	■	□	■	□	□
Public Open Space (as permitted in 10.705.G)	□	□	□	□	□	□
Public Restroom	■	■				■
Social Club	■	■	□	□	□	□
Sports Stadium	□					□
Surface Parking Lot	□	□	□	□	□	□
Theater (Live or Movie)	■	□				
Education						
Primary School	□	■	■	■	■	□
Childcare	■	■	■	■	□	
College or Trade School	■	■	□	□		
Secondary School	□	■	■	■	■	□
Agriculture						
Community Garden	■	■	■	■	■	■
Farm					□	
Industrial						
Electric Substation	□	□	□	□	□	□
Light Industrial Facility	□					
Warehouse / Storage Facility	□					

Note: Additional uses may be permitted by special approval of the Zoning Administrator.

***This section to be revised to be consistent with the uses defined in the updated VI Zoning and Subdivision Code.**

10.705 General Standards

The General Standards address many components of building form, public spaces, landscaping, parking, as well as other urban form items within Charlotte Amalie. The Standards within this Subsection shall apply to all Sub-districts except where noted otherwise.

10.705.A Building Height

10.705.A.1 Building height shall be as designated (in maximum feet and stories) for each Sub-district (see Subsection 10.704).

10.705.A.2 Maximum building height (in feet) shall be as defined in 18.600.

10.705.A.3 A Story is a habitable level within a building measured from finished floor to finished ceiling. Habitable attics (levels within roof with a 12:12 pitch or less) are not considered stories for the purposes of determining building height. Basements (full levels below the adjacent street or sidewalk) shall be considered a story.

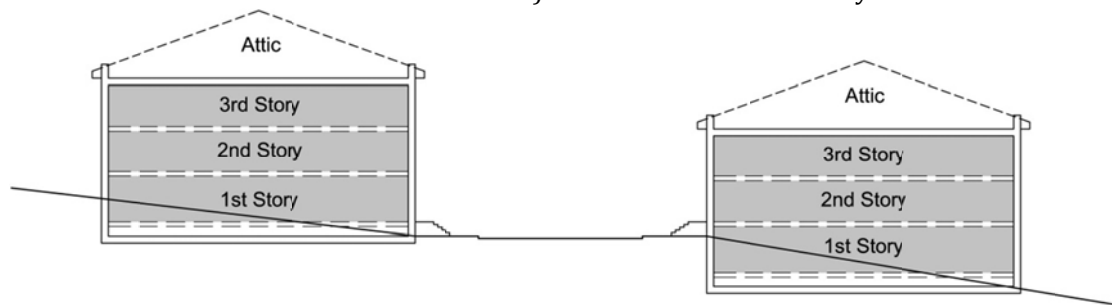


Fig. 10.705.1 - Building Height

10.705.A.4 Story height shall be defined in the following manner:

- (a) Stories may not exceed fourteen (14) feet in height from finished floor to finished ceiling, except for a first floor commercial function, which shall be a minimum of twelve (12) feet and may be a maximum of twenty-five (25) feet.
- (b) A single floor level exceeding fourteen (14) feet, or twenty-five (25) feet for ground floor commercial, shall be counted as two (2) stories.
- (c) Any building level with a vertical wall of greater than five (5) feet shall be counted as a story. This applies to habitable attics.

- (d) Mezzanines extending beyond 33% of the floor area shall be counted as an additional story.
- (e) Story heights are measured from the floor to the bottom of the lowest structural member that supports the story above.

10.705.B Frontage Buildout

10.705.B.1 Frontage percentage is the percentage of the width of a lot that is required to be occupied by its building's primary façade. Subsection 10.704 provides frontage buildout percentages for each Sub-district.

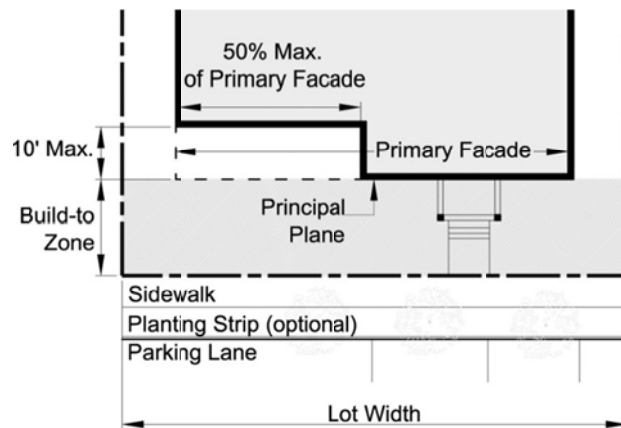


Fig. 10.705.2 –Frontage Buildout

10.705.B.2 Up to 50% of the width of the Primary Façade may be counted as meeting the frontage percentage requirement even though it may be set back up to 10 feet further from the street than the primary façade's principal plane.

10.705.B.3 The location of the primary façade's principal plane is not changed by façade extensions such as bay windows, awnings, porches, balconies, stoops, colonnades, or arcades, or by upper stories that are closer to or further from the street.

10.705.C Ground Floor Elevation

10.705.C.1 Retail Ground Floors

- (a) Retail space on the first floor shall be placed at the level of the adjacent sidewalk or street.

10.705.C.2 Residential Ground Floors

- (a) The first finished floor elevation of residential buildings shall be an average of twenty-four (24) inches minimum above the adjacent sidewalk or street grade.

10.705.D Building Configuration & Maximum Building Size

10.705.D.1 Multiple buildings shall be permitted on each lot, provided that each building and the overall massing meets the requirements of the Sub-district Standards (Subsection 10.704) and the Architectural Standards (Subsection 10.706).

10.705.D.2 In the case of new development, no single building shall be built with a footprint larger than ten thousand (10,000) sq. ft. In the case of redevelopment the maximum building footprint shall be ten thousand (10,000) sq. ft. or equal to the footprint of the existing building on the lot, whichever is larger. This requirement shall exclude parking structures, buildings for the territorial government, or civic buildings which include government functions.

10.705.E Encroachments in the Right-of-Way

10.705.E.1 Porches, Stoops, Awnings, Balconies, Arcades, and Galleries may encroach within the right-of-way. Standards for the design of these architectural elements can be found in Subsection 10.706.

10.705.F Civic Buildings

Civic buildings contain uses of special public importance and shall not be subject to Sub-district Standards (Subsection 10.704) for Build-to-zones, Setbacks, Building Height, and Frontage Buildout.

Civic buildings should be monumental and should help to enhance the public realm, rather than take away from it. The buildings should evoke a civic character and be carefully designed to reflect the architectural character of Charlotte Amalie.

Although intended uses will be a significant determinant of form, there are several common design principles inherent to civic buildings. These principles affect their relationship to private buildings and to their setting as a whole. The following standards and design principles are for the review of civic buildings:

10.705.F.1 The design of civic buildings shall be subject to review and approval of the VI SHPO prior to submission to decision-making bodies.

- 10.705.F.2** Civic Buildings include, but are not limited to, municipal buildings, places of worship, libraries, schools, recreation facilities, and places of assembly.
- 10.705.F.3** Existing churches and houses of worship are grandfathered in and do not need to follow the provisions of this Code.
- 10.705.F.4** Civic buildings do not include retail buildings, residential buildings, or privately owned office buildings.
- 10.705.F.5** The scale of civic buildings should typically be larger than surrounding buildings in order to be more prominent and visible across greater distances.
- 10.705.F.6** Floor-to-floor heights and architectural details should be proportionately larger than those of private buildings that exist or are anticipated within adjacent blocks.
- 10.705.F.7** Prominent roof forms and additive elements such as cupolas can visually extend the height of the building, and shall be permitted to exceed the designated height limit at the discretion of the VI SHPO.
- 10.705.F.8** Civic Buildings should be oriented toward the public realm (streets, squares and plazas) in a very deliberate way. Placement of buildings and primary architectural elements at the termination of public vistas can provide an appropriate level of visual importance (see Fig. 10.705.2-10.705.4).
- 10.705.F.9** Building entrances shall always take access from the most prominent façade(s). Primary entrances that take access from the rear or are visually concealed shall not be permitted.
- 10.705.F.10** Placement of Civic Buildings, depending upon program and site, can often benefit from being set back from the adjacent build-to lines of private development. This allows the scale of the building to have more visual emphasis and can create a public space in the fore ground. The amount of this setback should be carefully determined based on the urban design objectives of the particular site.
- 10.705.F.11** The primary massing of Civic Buildings shall be symmetrical in form. The appearance of a balanced design increases the level of formality which is appropriate to the public use.

10.705.F.12 Massing of Civic Buildings, although often larger as a whole, should be divided into visually distinct sections. Massing divisions provide visual order to the building and shall create vertical proportions within individual elements.

10.705.F.13 The design of Civic Buildings shall be determined in consultation with the VI SHPO.

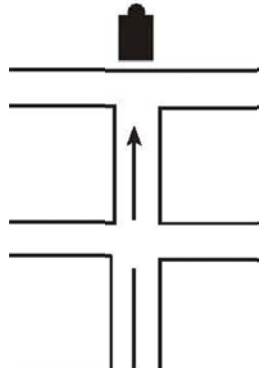


Fig. 10.705.3 – Civic Buildings can terminate long linear views

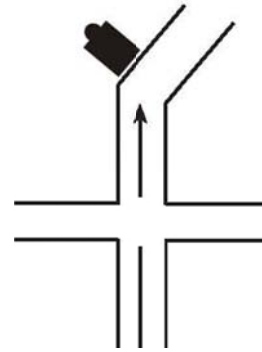


Fig. 10.705.4 – Civic Buildings can terminate deflected vistas

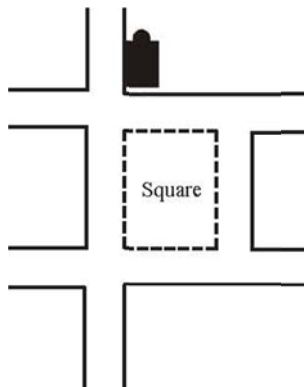


Fig. 10.705.5 – Civic Buildings may anchor a corner of a Public Open Space

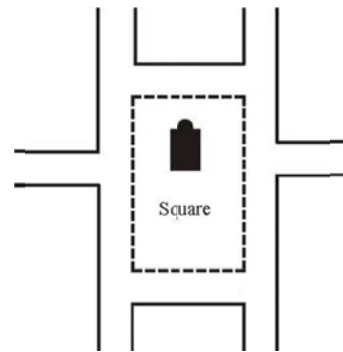


Fig. 10.705.6 – Civic Buildings may be located within a Public Open Space

10.705.G Public Open Spaces

Public Open Space areas designed and built as plaza, square, green or other gathering places are meant to identify places where people would congregate. Such places must be designed and configured to be clearly recognizable as public open space, including special pavements, shade trees, benches and other pedestrian amenities. Plazas or squares may also contain fountains and sculpture. The following standards shall apply towards the creation of new Public Open Spaces.

10.705.G.1 Public Open Space types shall be as described below:



Fig. 10.705.7 - Park

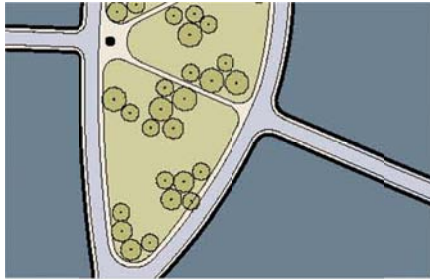


Fig. 10.705.8 - Green

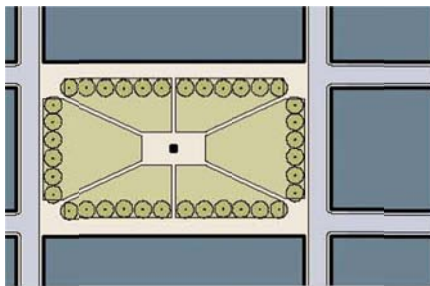


Fig. 10.705.9 - Square

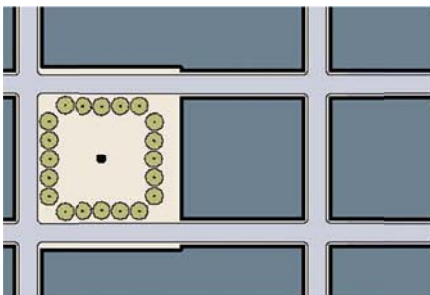


Fig. 10.705.10 - Plaza

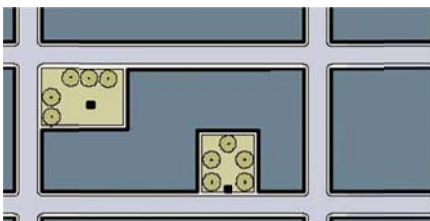


Fig. 10.705.11 - Playground

(a) **Park:** A natural preserve available for unstructured recreation. A park does not need to be fronted by buildings. Its landscape shall consist of paths and trails, meadows, waterbodies, woodland and open shelters, all Naturalistically Disposed. Parks may be lineal, following the trajectories of natural corridors.

(b) **Green:** A Public Open Space, available for unstructured recreation. A Green may be spatially defined by landscaping rather than buildings fronting it along the edges. Its landscape shall consist of lawn and trees, Naturalistically Disposed.

(c) **Square:** A Public Open Space available for unstructured recreation and public gatherings. A Square is spatially defined by building Frontages. Its landscape shall consist of paths, lawns and trees, Formally Disposed.

(d) **Plaza:** A Public Open Space available for public gatherings and outdoor markets. A Plaza shall be spatially defined by building Frontages. Its landscape shall consist primarily of pavement. Plazas should use pervious pavers, where possible. Trees are optional.

(e) **Playground:** A Public Open Space designed and equipped for the recreation of children. Playgrounds shall be fenced and may include an open shelter. Playgrounds may be interspersed within residential areas and may be placed within a Block. Playgrounds may be included within parks and greens.

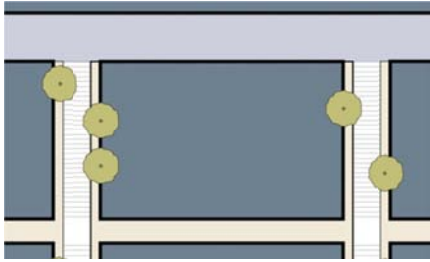


Fig. 10.705.12 – Step Street



Fig. 10.705.13 – Drainage Gut

(f) **Historical Step Streets:** An Open Space available for unstructured recreation, pedestrian movement up and down urban slopes, and community gardening. A step street is defined by existing steps, surrounding building frontages and landscaping. Its landscape shall consist of trees, palms, shrubs and vegetables Naturalistically Disposed.

(g) **Drainage Gut:** An Open Space used to drain water downhill, often in mid-block locations; these natural greenways can become part of the open space network. Walking trails should be added where possible, using gravel or other pervious materials. Similar to the step streets, landscape here shall consist of trees, palms, shrubs, and vegetables Naturally Disposed.

10.705.G.2 Each Public Open Space should be consistent with the character of the Sub-district in which it is located. For example, a plaza located in the Town Center or Neighborhood Center Sub-district would be detailed with hardscaping and a formal planting pattern of a single species (see Subparagraph 10.705.H), while a park in the Neighborhood Edge Sub-district may be green with paths through an informal planting pattern of multiple species.

10.705.G.3 Public Open Spaces shall conform to the following requirements:

Public Open Space Types	Must Front On At Least:	Typical Lot Size	Sub-districts			
			TC	NC	NG	NE
Park	1 streets	0.5 to 5 acres			■	■
Green	2 streets	0.25 to 2 acres	■	■	■	
Square	3 street	200 sq. ft. to 2 acres	■	■	■	
Plaza	1 street	200 sq. ft. to 2 acres	■	■	■	
Playground	0 streets	.1 to 1 acre			■	■
Step Street / Gut	0 streets	n/a	■	■	■	■

10.705.G.4 Each Public Open Space (not including Step Streets or Drainage Guts) shall provide shaded seating. A minimum four feet (4') in length of seating area shall be provided for every ¼ acre of open space.

10.705.H Landscaping

10.705.H.1 Locally-Grown Plants. Utilize locally-grown plants to the maximum degree possible to protect the integrity of our native species and reduce the importation of invasive exotic plants and animals. Virgin Islands native plants are genetically unique. Importation of plants grown elsewhere may compromise their genetic identity through hybridization with imported plants. Buying locally-grown plants also support the local agricultural industry. With enough lead time desirable species which are not readily available can be contract-grown by local growers to obtain the quantities and sizes needed.

10.705.H.2 Native Species. Virgin Islands native species are those plants which have been identified as endemic to the territory. The Territory's native species have evolved to thrive in the islands without extensive maintenance. They have developed traits which allow them to survive long periods of drought, intense heat and poor soil while providing food and habitats for our local wildlife. They are well adapted to survive and recover from tropical storms and hurricanes. Use of native species in combination with traditional architectural massing and styles helps to maintain the unique visual character of the Charlotte Amalie community. Native species are appropriate for planting in all Sub-districts. Predominantly Virgin Islands native plants shall be selected whenever possible.

10.705.H.3 Exotic Species. Exotic species are plants which have been brought to the territory from other parts of the tropical and subtropical world. The exotics add diversity of color, texture, food and beauty to our local gardens. But, require a higher level of maintenance and irrigation to survive the challenges of our local climate. Exotic species may also be used in all Sub-districts, but to a lesser degree, provided they are not considered invasive.

10.705.H.4 Culturally-Significant Plants. Plants have played a major role in the culture of the people of the Caribbean and the Virgin Islands for centuries.

(a) Cultural-Edible. Plants identified as Cultural-Edible bear fruit or other edible plant parts which have been historically used as food, beverages, in seasonings or medicines. The use of edible plants is encouraged in less formal settings such as Parks, Greens, Historical Step Streets and Drainage Guts

and residential properties. But, is discouraged for use in more formal public spaces such as Squares, Plazas and Playgrounds where there are maintenance concerns and a potential for plant vandalism. Edible plants are allowed in the Neighborhood Edge and Neighborhood General Sub-districts.

(b) **Cultural-Other.** Plants identified as Cultural-Other are those which have been historically used in construction, textiles, in religious rituals, in the decorative arts or in beautification of public spaces and private gardens. They are appropriate for use in all types of public spaces in all Sub-districts where the size and characteristics of the plants are appropriate.

10.705.H.5 Salt-Tolerant Plants. Certain plants exhibit characteristics which make them able to survive exposure to salt water, salt air, intense sun and drought which are characteristic of seaside locations. Plants are identified in several categories of salt tolerance: (1) highly salt-tolerant and can be used in all locations including those receiving direct salt winds. (2) moderately salt-tolerant – successful in seaside locations must be used in areas receiving protection from salt winds such as buildings fences or windbreaks created by highly salt-tolerant plants. (3) low salt-tolerance – should be used only in highly protected locations receiving no salt exposure. Highly and moderately salt-tolerant plants are appropriate for use in all types of public spaces in all sub-districts (including seaside locations) where the size and characteristics of the plants are appropriate. Use of plants with low salt-tolerance is allowed in all public spaces within all sub-districts (except seaside locations) where dependable maintenance is present.


10.705.H.6 Succulents and Bromeliads. While bold and attractive, many succulents and bromeliads have spines which make them unsuitable for use in any public spaces within the Town Center and Neighborhood Center Sub-districts. Spined succulents and bromeliads may be used in parks in the Neighborhood Edge Sub-district and private gardens within the Neighborhood General and Neighborhood Edge Sub-districts.

10.705.H.7 Containerized Plants. Containerized plantings are not allowed in parks and greens. But, are appropriate and encouraged for use in public squares, plazas and playgrounds where sufficient and dependable maintenance is

present, as well as civic, commercial and residential properties within the Charlotte Amalie District.

10.705.H.8 Invasive and Destructive Plants. Species identified as invasive escape cultivated landscapes and infiltrate into our island forests where they compete with native species for water and nutrients. Destructive plants have aggressive and often massive root systems which can damage the walls of buildings, pools and cisterns. Structures on neglected and abandoned properties are especially vulnerable to damage by destructive plans. Use of invasive and destructive plans is prohibited in all subdistricts. These plants are lists in Paragraph 10.705H.10 Prohibited Plant List.

10.705.H.9 Approved Plant List. Pre-approved plantings in the Charlotte Amalie District include those in the following lists (sorted by plant type); additional plantings may be approved at the discretion of the Zoning Administrator, provided they do not include those listed in Paragraph 10.705.H.10 Prohibited Plant List.

Large Trees - 40' to 80'					
					
<i>Fig. 10.705.14 -Kapok Tree</i>					
Name	Scientific Name	native	Cultural-edible	Cultural-other	salt tolerance
Baobob, Dead Rat Tree	<i>Adansonia digitata</i>	x	x	x	3
Black Olive, Gre Gre	<i>Bucida buceras</i>	x			1
Breadfruit	<i>Artocarpus altilis</i>		x	x	2
Cannonball Tree	<i>Couroupita guianensis</i>				3

Cigar Box Cedar, Spanish Cedar	<i>Cedrela odorata</i>	x		x	2
Dog Almond, Bastard Mahogany	<i>Andira inermis</i>	x			2
Galba, Maria	<i>Calophyllum antillanum</i>	x			1
Hog Plum	<i>Spondias Mombin</i>	x	x		3
Indian Almond	<i>Terminalia Catappa</i>		x	x	1
Mamsee Apple	<i>Mammea americana</i>	x	x	x	2
Mango	<i>Mangifera indica</i>		x	x	2
Mastic	<i>Mastichodendron foetidissimum</i>	x			1
Mesple, Sapodilla	<i>Manilkara zapota</i>		x	x	1
Norfolk Island Pine	<i>Araucaria heterophylla</i>				2
Raintree, Saman	<i>Samanea saman</i>				2
Sandbox	<i>Hura crepitans</i>			x	3
Silk Cotton, Kapok	<i>Ceiba pentandra</i>	x		x	2
Soapberry	<i>Sapindus saponaria</i>	x		x	1
Sweet Pea	<i>Inga fagifolia</i>	x	x	x	2
Tamarind	<i>Tamarindus indica</i>		x	x	1
West Indian Locust, Stinking Toe Tree	<i>Hymenaea courbaril</i>	x	x	x	2
West Indies Mahogany	<i>Swietenia mahogoni</i>			x	2

Medium Trees – 20' to 39'



Fig. 10.705.15 - Turpentine Tree

Name	Scientific Name	native	Cultural-edible	Cultural-other	salt tolerance
African Tulip	<i>Spathodea campanulata</i>			x	2
Autograph Tree	<i>Clusia rosea</i>	x			1
Avocado	<i>Persea Americana</i>		x		3
Bay Rum	<i>Pimenta racemosa</i>	x			3
Black Calabash	<i>Enallagma latifolia</i>	x	x	x	3
Black Mampoo	<i>Guapira fragrans</i>	x			2
Bottlebrush	<i>Callistemon speciosus</i>				2

Bread and Cheese	<i>Pithecellobium unguis – cati</i>	x			1
Buttercup Tree	<i>Cochlospermum vitifolium</i>				2
Carambola	<i>Averrhoa carambola</i>		x		3
Calabash	<i>Crescentia cujetee</i>			x	2
Cinnamon	<i>Cinnamomum zeylanicum</i>		x	x	3
Coral Tree	<i>Erythrina crista-gallii</i>				2
Custard Apple	<i>Annona reticulata</i>		x	x	
Divi-Divi	<i>Caesalpinia coriaria</i>	x			2
Flamboyant	<i>Delonix regia</i>				2
Geiger	<i>Cordia sebestena</i>				1
Guavaberry	<i>Myrciaria floribunda</i>	x	x		2
Green Buttonwood	<i>Conocarpus erectus</i>	x			1
Golden Shower	<i>Cassia fistula</i>				2
Hong Kong Orchid	<i>Bauhinia x blakeana</i>				3
Ironwood	<i>Krugiodendron ferreum</i>	x			2
Jacaranda	<i>Jacaranda mimosifolia</i>				3
Jamaica Caper	<i>Capparis cynophallophora</i>	x			1
Lignum vitae	<i>Guaiacum officinale</i>	x			1
Marble Tree	<i>Cassine xylocarpa</i>	x			1
Neem	<i>Azadirachta indica</i>			x	2
Orange, Lime, Grape-fruit, Lemon	<i>Citrus spp.</i>		x		2
Orange Manjack	<i>Cordia rickseckeri</i>	x			2
Pigeon Berry, Chink	<i>Bourreria succulenta</i>	x		x	2
Pigeon Plum, Dove Plum	<i>Coccoloba diversifolia</i>	x			2
Pink Cedar	<i>Tabebuia heterophylla</i>	x		x	2
Poor Man's Orchid	<i>Bauhinia variegata</i>				2
Queen Crape Myrtle	<i>Lagerstroemia speciosa</i>				3
Quick Stick, Cocoashade	<i>Gliricidia sepium</i>				3
Satinwood, Yellow-heart	<i>Xanthoxylem flavum</i>	x			2
Sea Hibiscus	<i>Hibiscus tiliaceus</i>	x			1
Seagrape	<i>Coccoloba uvifera</i>	x	x	x	1
Seaside Maho	<i>Thespesia populnea</i>				1
Turpentine Tree, Gumbo Limbo	<i>Bursera simaruba</i>	x		x	1
Twinberry, Naked-wood	<i>Myrcianthes fragrans</i>	x			1
Vahls Boxwood, Diablito	<i>Buxus vahlii</i>	x		x	1
Yellow Poui	<i>Tabebuia aurea</i>			x	2
Ylang Ylang	<i>Cananga odorata</i>			x	3
(continued on next page)					

Small Trees - 10' to 19'



Fig. 10.705.16 - Variegated Screw Pine

Name	Scientific Name	native	Cultural-edible	Cultural-other	salt tolerance
Acerola Cherry, West Indian Cherry	<i>Malpighia emarginata</i>		x		3
Cacao	<i>Theobroma cacao</i>		x	x	3
Calamondon Orange	<i>Citrofortunella x mitis</i>		x		2
Cassia Polyphylla	<i>Cassia polyphylla</i>	x			2
Frangipani	<i>Plumeria rubra</i>			x	1
Guava	<i>Psidium guajava</i>		x	x	2
Inkberry	<i>Randia aculeata</i>	x		x	1
Pomegranate	<i>Punica granatum</i>		x		2
Pain Killer	<i>Morinda citrifolia</i>		x	x	1
Physic Nut	<i>Jatropha multifida</i>		x	x	2
Ponytail	<i>Nolina recurvata</i>				2
Screw Pine	<i>Pandanus utilis</i>				2
Soursop, Guanabana	<i>Annona muricata</i>		x	x	2
Sugar Apple, Sweet Sop	<i>Annona squamosa</i>		x	x	2
Sweet Acacia	<i>Acacia farnesiana</i>	x			1
Torchwood	<i>Jacquinea arborea</i>	x			1
Variegated Screw Pine	<i>Pandanus veitchii</i>				2
White Frangipani	<i>Plumeria alba</i>	x		x	1
Wild Cinnamon	<i>Canella winterana</i>	x			2

(continued next page)

Palms and Cycads



Fig. 10.705.17 – Coconut Palm

Name	Scientific Name	native	Cultural-edible	Cultural-other	salt tolerance
Areca Palm	<i>Dyopsis lutescens</i>				2
Bismarkia Palm	<i>Bismarkia nobilis</i>				2
Cabada Palm	<i>Dyopsis cabadae</i>				2
Canary Island Date Palm	<i>Phoenix canariensis</i>				2
Cardboard Plant	<i>Zamia furfuracea</i>				1
Christmas Palm	<i>Veitchia merrillii</i>			x	2
Coconut Palm	<i>Cocos nucifera</i>		x	x	1
Fiji Fan Palm	<i>Pritchardia pacifica</i>				1
Fishtail Palm	<i>Caryota mitis</i>				3
Florida Thatch Palm	<i>Thrinax radiata</i>				1
Foxtail Palm	<i>Wodyetia bifurcata</i>				2
Lady Palm	<i>Rhapsis excelsa</i>				2
Latan Palm	<i>Lantana loggigesii</i>				2
Licuala	<i>Licuala grandis</i>				3
Macarthur Palm	<i>Ptychosperma macarthurii</i>				3
Medjool Date Palm	<i>Phoenix dactylifera</i>		x		1
Pygmy Date Palm	<i>Phoenix roebelenii</i>				3
Queen Palm	<i>Syagrus romanzoffiana</i>				2
Puerto Rican Hat Palm	<i>Sabal causiarum</i>	x		x	2
Puerto Rican Royal Palm	<i>Roystonea bourinquena</i>	x		x	2
Solitaire Palm	<i>Ptychosperma elegans</i>				2
Silver Palm, Thatch Palm	<i>Coccothrinax argentea</i>	x		x	1
Triangle Palm	<i>Dyopsis decaryi</i>				3
Tyre Palm	<i>Coccothrinax alta</i>	x		x	1

Tall and Medium Shrubs





Fig. 10.705.19 - Croton

Name	Scientific Name	native	Cultural-edible	Cultural-other	salt tolerance
Aralia	<i>Polyscias guilfoylei</i>				2
Angel's Trumpet	<i>Brugmansia x candida</i>				3
Bird of Paradise	<i>Strelitzia reginae</i>				3
Bougainvillea, Various Colors	<i>Bougainvillea glabra</i>			x	1
Bush Morning Glory	<i>Ipomoea fistulosa</i>				2
Cape Honeysuckle	<i>Tecomaria capensis</i>				2
Cape Jasmine	<i>Tabernaemontana divaricata</i>				2
Caricature Plant	<i>Graptophyllum pictum</i>				3
Cassava	<i>Manihot esculenta</i>		x	x	3
Chenille Plant	<i>Acalphya hispida</i>				2
Chinese Hat	<i>Holmskoldia sanguinea</i>				2
Croton	<i>Codiaeum variegatum</i>			x	2
Croton (Native)	<i>Croton discolor</i>	x			2
Cocoplum	<i>Chrysobalanus icaco</i>	x	x		1
Common Jasmine	<i>Jasminum officinale</i>			x	2
Copper Leaf	<i>Acalphya wilkesiana</i>				2
Grafted Gardenia	<i>Gardenia augusta</i>				3
Green Island Ficus	<i>Ficus microcarpa</i>				2
Golden Dew Drop	<i>Duranta erecta (repens)</i>	x			2
Golden eranthemum	<i>Pseuderanthemum reticulatum</i>				3
Hibiscus	<i>Hibiscus rosa-sinensis</i>		x	x	2
Ixora	<i>Ixora coccinea</i>				2
Japanese Hibiscus	<i>Hibiscus schizopetalus</i>			x	2
Japanese yew	<i>Podocarpus macrophyllus</i>				1
Jatropha	<i>Jatropha integerrima</i>				2
Lipstick Tree	<i>Bixa orellana</i>		x	x	3
Limber Caper	<i>Capparis flexuosa</i>	x			2

Medinella	<i>Medinella magnifica</i>				3
Mussaenda	<i>Mussaenda spp.</i>				3
Natal Plum	<i>Carissa grandiflora</i>		x	x	1
Night Blooming Jasmine	<i>Cestrum nocturnum</i>			x	2
Nodding Hibiscus	<i>Malaviscus arboreus</i>				2
Oleander	<i>Nerium oleander</i>				2
Orange Jasmine	<i>Murraya paniculata</i>			x	2
Pigeon Pea	<i>Cajanus Cajan</i>		x	x	3
Pinwheel Jasmine	<i>Tabernaemontana divaricata</i>				2
Plumbago	<i>Plumbago auriculata</i>			x	2
Poinsettia	<i>Euphorbia pulcherrima</i>			x	2
Powder Puff	<i>Calliandra haematocephala</i>				3
Pride of Barbados	<i>Caesalpinia pulcherrima</i>			x	2
Purple Shrub Bougainvillea	<i>Bougainvillea spectabilis</i>			x	1
Seven Year Apple	<i>Casasia clusiifolia</i>	x			1
Scrambled Eggs	<i>Cassia surratensis</i>				2
Shrimp Plant	<i>Justicia brandegeana</i>				3
Snow Bush	<i>Breynia disticha</i>				3
Snow on the Mountain	<i>Euphorbia leucocephala</i>			x	2
Solanum conocarpum	<i>Solanum conocarpum</i>	x			2
Star Jasmine	<i>Jasminum multiflorum</i>				3
Star Jasmine	<i>Jasminum nitidum</i>				2
Tahitian Gardenia	<i>Gardenia taitensis</i>				3
Texas sage	<i>Leucophyllum trutescens</i>				2
Thryallis	<i>Galphimia glauca</i>				2
Wild Lantana	<i>Lantana involucrata</i>	x			2
Xanadu	<i>Philodendron xanadu</i>				3
Yellow Oleander, Lucky Nut	<i>Thevetia peruviana</i>				2

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Woody Perennial					
					
Fig. 10.705.20- <i>Dracaena</i>					
Name	Scientific Name	native	edible	cultural	salt tolerance
Dracaena	<i>Dracaena marginata</i>				3
Striped Dracaena	<i>Dracaena deremensis</i>				3
Song of India	<i>Dracaena reflexa</i>				3
Yucca	<i>Yucca aloifolia</i>				2
Herbaceous Perennial					
					
Fig. 10.705.21 – Native Bird's Nest Anthurium					
Name	Scientific Name	native	Cultural-edible	Cultural-other	salt tolerance
Anthurium	<i>Anthurium andraeanum</i>				3
Banana, Plantain	<i>Musa spp.</i>		x		3
Bird's Nest Anthurium (Native)	<i>Anthurium crenatum</i>	x		x	
Bird's Nest Anthurium	<i>Anthurium hookeri</i>				3

um					
Blueberry Flax Lily	<i>Dianella tasmanica</i>				3
Caladium	<i>Caladium spp.</i>				3
Canna	<i>Canna spp.</i>				3
Crossandra	<i>Crossandra infundibuliformis</i>				2
Dumbcane	<i>Dieffenbachia spp.</i>			x	3
Elephant's Ear, Dasheen	<i>Colocassia esculenta</i>		x	x	3
Firecracker Plant	<i>Russelia equisetiformis</i>				2
Ginger	<i>Zingiber officinale</i>		x	x	3
Hawaiian Ti	<i>Cordylene terminalis</i>				3
Heartleaf	<i>Anthurium cordatum</i>	x		x	3
Heliconia	<i>Heliconia spp.</i>			x	3
Mexican Heather	<i>Cuphea hyssopifolia 'Allyson'</i>				3
Monstera	<i>Monstera deliciosa</i>		x		2
Papaya	<i>Carica papaya</i>		x		3
Peace Lilly	<i>Spathiphyllum clevelandii</i>				3
Periwinkle	<i>Catharanthus roseus</i>				2
Philodendron Hope	<i>Philodendron 'hope'</i>				2
Philodendron Sell- oum	<i>Philodendron selloum</i>				2
Red Ginger	<i>Alpinia purpurata</i>			x	3
Shell Ginger	<i>Alpinia zerumbet</i>				2
Tannia	<i>Xanthosoma roseum</i>		x	x	3
Traveller's Tree	<i>Ravenala madagascariensis</i>				3
Walking Iris	<i>Trimezia martinicensis</i>				3
White Bird of Para- dise	<i>Strelitzia nicolai</i>				2

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Vines



Fig. 10.705.22 – Rangoon Creeper

Name	Scientific Name	native	Cultural-edible	Cultural-other	salt tolerance
Beach Pea	<i>Canavalia rosea</i>				1
Bleeding Heart - Red	<i>Clerodendrum splendens</i>				2
Bougainvillea	<i>Bougainvillea glabra</i>			x	1
Creeping ficus	<i>Ficus pumila</i>				2
Cup of Gold	<i>Solandra maxima</i>			x	2
Danish Banner	<i>Clerodendrum thomsoniae</i>			x	3
Glowvine	<i>Serataea magnifica</i>			x	3
Golden Bellapple	<i>Passiflora laurifolia</i>		x	x	3
Leatherleaf	<i>Stigmaphyllon periplocifolium</i>	x			1
Madagascar Jasmine, Hawaiian Wedding Flower	<i>Stephanotis floribunda</i>			x	2
Pandora Vine	<i>Pandorea jasminoides rosea</i>				3
Passion Flower	<i>Passiflora edulis</i>		x	x	3
Purple Allamanda	<i>Allamanda blanchetii</i>				2
Rangoon Creeper	<i>Quisqualis indica</i>			x	3
Railroad Vine, Beach Morning Glory	<i>Ipomoea pes-caprae</i>	x		x	1
Red Passion Vine	<i>Passiflora coccinea</i>				3
Sandpaper Vine	<i>Petrea volubilis</i>			x	2
Sky Vine	<i>Thunbergia grandiflora</i>				3
Wild Allamanda	<i>Pentalinon luteum (Urechites lutea)</i>	x			2
Yellow Allamanda, Yellow Bell	<i>Allamanda cathartica</i>			x	3
Yellow Mandavilla	<i>Pentalinon luteum</i>	x			2

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Low Shrubs / Groundcover / Ferns



Fig. 10.705.23 – Ground Orchid

Name	Scientific Name	native	Cultural-edible	Cultural-other	salt tolerance
Asparagus Fern	<i>Asparagus sprengeri densiflorus</i>				2
Baby Sun Rose	<i>Aptenia cordifolia</i>				2
Beach Purslane	<i>Sesuvium portulacastrum</i>	x	x		1
Blue Porterweed	<i>Stachytarpheta jamaicensis</i>		x	x	2
Boston Fern	<i>Nephrolepis exalta</i>				3
Common Purslane	<i>Portulaca oleracea</i>	x	x		2
Creeping Inch Plant	<i>Callisia repens</i>	x			2
Fishtail Fern	<i>Nephrolepis biserrata furcans</i>				3
Foxtail Fern	<i>Asparagus densiflorus 'myers'</i>				3
Ground Orchid	<i>Callisia fragrans</i>			x	2
Hairy Portulaca	<i>Portulaca pilosa</i>	x			3
Kangaroo Fern	<i>Microsorium scolopendria</i>				3
Lantana	<i>Lantana camara</i>				2
Macho Fern	<i>Nephrolepis biserrata</i>				3
Purple Queen	<i>Setcreasea pallida</i>				2
Rabbit's Foot Fern	<i>Davallia fejeensis</i>				3
Spanish Shawl	<i>Heterocentron elegans</i>				3
Wandering Jew	<i>Tradescantia zebrina</i>			x	2
Wedelia	<i>Wedelia trilobata</i>	x		x	2

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Grasses



Fig. 10.705.24 – Hawaiian Bamboo

Name	Scientific Name	native	Cultural-edible	Cultural-other	salt tolerance
Bermuda Grass	<i>Cynodon dactylon</i>				2
Black Bamboo	<i>Bambusa lako</i>				3
Guinea Grass	<i>Panicum Maximum</i>			x	2
Hawaiian Bamboo	<i>Bambusa vulgaris</i>				2
Liriope	<i>Liriope muscari</i>				2
Mondo Grass	<i>Ophiopogon japonicus</i>				3
Dwarf Papyrus	<i>Dyperus isocladius</i>				3
Papyrus	<i>Cyperus alternifolius</i>				3
Sea Oats	<i>Uniola paniculata</i>	x			1
Seashore Paspalum	<i>Paspalum vaginatum</i>				1
Sugar Cane	<i>Sacharum officinarum</i>		x	x	2
Umbrella Sedge	<i>Cyperus Involucratus</i>			x	3
Zoysia Grass	<i>Zoysia manila</i>				2

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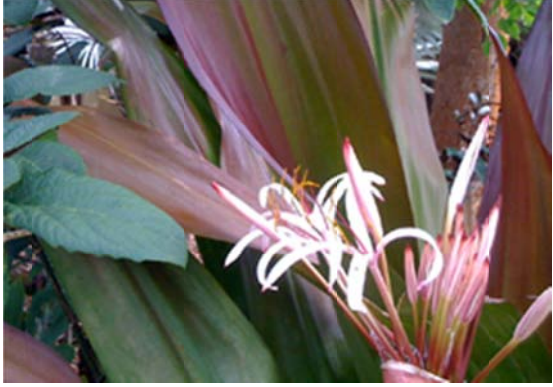

Medicinal and Culinary Herbs



Fig. 10.705.25 – Culinary Herbs

Name	Scientific Name	native	Cultural-edible	Cultural-other	salt tolerance
Basil	<i>Ocimum basilicum</i>		x	x	3
Cuban Oregano	<i>Solenostemon amboinicus</i>		x	x	3
Lemongrass	<i>Cymbopogon citratus</i>		x	x	3
Mint	<i>Mentha spp.</i>		x	x	3
Oregano	<i>Origanum vulgare</i>		x	x	3
Papalolo			x	x	3
Rabbit Food	<i>Leonotis nepetifolia</i>			x	3
Rosemary	<i>Rosmarinus officinalis</i>		x	x	3
Sasparilla	<i>Smilax regelii</i>		x	x	3
Scotch Bonnet Pepper	<i>Capsicum chinense</i>		x	x	3
Sorrel	<i>Hibiscus sabdariffa</i>		x	x	3
Thyme	<i>Thymus spp.</i>		x	x	3
Mint	<i>Mentha spp.</i>		x	x	3

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Lilies					
					
<p><i>Fig. 10.705.26 – Queen Emma Lily</i></p>					
Name	Scientific Name	native	Cultural-edible	Cultural-other	salt tolerance
Easter Lilly, Barbados Lilly	<i>Hippestrum puniceum</i>			x	2
Giant Crinum Lily	<i>Crinum asiaticum</i>				2
Queen Emma Lily	<i>Crinum angustum</i>				2
Rain Lily	<i>Zephyranthes dichromantha</i>				2
Spider Lily	<i>Hymenocallis caribaea</i>	x			1
Succulents					
					
<p><i>Fig. 10.705.27 – Century Plant</i></p>					
Name	Scientific Name	native	Cultural-edible	Cultural-other	salt tolerance
Aloe	<i>Aloe barbadensis</i>		x	x	1
St. Croix Century Plant	<i>Agave eggerisiana</i>	x		x	1

Century Plant	<i>Agave missionum</i>	x		x	1
Christmas Candle	<i>Pedilanthus tithymaloides</i>		x	x	2
Crown of Thorns	<i>Euphorbia millii</i>				1
Desert Rose	<i>Adenium obesum</i>				2
Dildo Cactus	<i>Pilosocereus royenii</i>	x		x	1
Kalanchoe	<i>Kalanchoe blossfeldiana</i>				2
Lion's Tail	<i>Agave attenuata</i>				1
Night Blooming Cerus	<i>Hylocereus undatus</i>			x	1
Prickly Pear Cactus	<i>Opuntia dillenii</i>	x	x	x	1
Soap Aloe	<i>Aloe saponaria</i>				1
Spineless Prickly Pear Cactus	<i>Opuntia sp.</i>		x		1
Starfish Flower	<i>Stapelia gigantea</i>				2
Turk's Head Cactus	<i>Melocactus intortus</i>	x	x	x	1

Bromeliads



Fig. 10.705.28 - Wild Pineapple

Name	Scientific Name	native	Cultural-edible	Cultural-other	salt tolerance
Aechmea	<i>Aechmea spp.</i>				2
Alcantarea	<i>Alcantarea spp.</i>				2
Androlepis	<i>Androlepis spp.</i>				2
Bilbergia	<i>Bilbergia spp.</i>				3
Hohenbergia	<i>Hohenbergia spp.</i>				2
Leatherleaf Air Plant	<i>Tillandsia variabilis</i>	x		x	3
Neoregelia	<i>Neoregelia spp.</i>				2
Pineapple	<i>Ananas comosus</i>		x		3
Portea	<i>Portea spp.</i>				2
Spreading Air Plant	<i>Tillandsia utriculata</i>	x			2
Wild Pineapple, Miss Blyden	<i>Bromelia pinguin</i>		x		2
Vresia	<i>Vresia spp.</i>				3


Orchids



Fig. 10.705.29 – Ground Orchid


Name	Scientific Name	native	Cultural-edible	Cultural-other	salt tolerance
Cattleya	<i>Cattleya cultivars</i>				3
Christmas orchid	<i>Epidendrum ciliare</i>	x		x	3
Cliff Orchid	<i>Psychilis macconnelliae</i>	x		x	3
Dendrobium	<i>Dendrobium cultivars</i>			x	3
Epidendrum	<i>Epidendrum cultivars</i>				3
Ground Orchid	<i>Spathiglottis plicata</i>				3
Oncidium	<i>Oncidium cultivars</i>			x	3
Phalaenopsis	<i>Phalaenopsis cultivars</i>			x	3
Schomburgkia humboldtii	<i>Schomburgkia humboldtii</i>			x	3
Vanda	<i>Vanda cultivars</i>			x	3

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Water Plants					
					
<i>Fig. 10.705.30 – Water Lilly</i>					
Name	Scientific Name	native	Cultural-edible	Cultural-other	salt tolerant
Water Lilly	<i>Nymphaea Cultivars</i>			x	3

10.705.H.10 Prohibited Plant List

The following invasive plants shall be prohibited in the Charlotte Amalie District:

Invasive plants (prohibited)					
					
<i>Fig. 10.705.31 – Mexican Creeper</i>					
Name	Scientific Name	native	Cultural-edible	Cultural-other	salt tolerant
Arrowhead Vine	<i>Syngonium spp.</i>				3
Barleria repens	<i>Barleria repens</i>				3
Dwarf Oyster Plant	<i>Tradescantia spathacea dwarf</i>			x	3

Water Hyacinth	<i>Eichhornia crassipes</i>			x	3
Genip, Kenip	<i>Melicoccus bijugatus</i>		x	x	2
Indian Rubber Tree	<i>Ficus elastica</i>			x	1
India Rubber Vine	<i>Cryptostegia grandiflora</i>				1
Mexican Creeper	<i>Antigonon leptopus</i>				3
Oyster Plant	<i>Rhoeo spathacea</i>		x		2
Pothos	<i>Epipremnum aureum</i>				2
Queensland Umbrella Tree	<i>Schefflera actinophylla</i>			x	2
Scaevola	<i>Scaevola frutescens</i>				1
Snake Plant	<i>Sanseveria trifasciata</i>			x	1
Strangler Fig	<i>Ficus spp.</i>				2
Sutter's Gold	<i>Asystasia gangetica</i>				3
Tan Tan	<i>Leucaena glauca</i>			x	2
Weeping Ficus	<i>Ficus benjamina</i>				2

10.705.I Streetscreens

- 10.705.I.1 A Streetscreen is a Garden Wall or Fence (see Paragraph 10.706.S).
- 10.705.I.2 Streetscreens shall be permitted in place of buildings to meet the Frontage Buildout requirements in the Sub-district Standards (Subsection 10.704).
- 10.705.I.3 Within the Town Center and Neighborhood Center Sub-Districts, garden walls and fences shall be required along all adjacent un-built rights-of-way.

10.705.J Lighting

The lighting standards are intended to ensure that the light fixtures in the Charlotte Amalie District are compatible with each other. The orientation of lighting is also very important to maintaining a safe street environment and limiting light pollution. To limit light pollution, applicants are encouraged to incorporate International Dark Sky standards and principles in all neighborhood plans.

The following regulations are applicable to all Sub-districts unless otherwise noted:

- 10.705.J.1 Light fixtures shall be downcast (aimed downward) and /or properly shielded to prevent glare and light pollution.
- 10.705.J.2 The height of light fixtures shall promote a pedestrian scale to the public realm. Pedestrian -scaled fixtures shall be used on all thoroughfares.
- 10.705.J.3 Cobra head light fixtures shall not be permitted.

10.705.J.4 Placement of fixtures shall be coordinated with organization of sidewalks, landscaping, street trees, building entries, curb cuts, signage, and other street fixtures.

10.705.J.5 Prioritize consideration of security and pedestrian comfort by increasing illumination low to the ground, in parking lots, at building entries, public plazas, and transit stops.

10.705.J.6 **Applicable to the Town Center & Neighborhood Center Sub-districts**

(a) Street light fixture maximum height sixteen (16) feet

(b) Street light fixture maximum spacing fifty (50) feet on center

10.705.J.7 **Applicable to the Neighborhood General Sub-district**

(a) Street light fixture maximum height sixteen (16) feet

(b) Street light fixture maximum spacing seventy-five (75) feet on center

10.705.J.8 **Applicable to the Neighborhood Edge Sub-district**

(a) Street light fixture maximum height twelve (12) feet

10.705.J.9 **Applicable to Veterans Drive**

(a) Street light fixture maximum height twenty-five (25) feet

(b) Street light fixture maximum spacing seventy-five (75) feet on center

10.705.J.10 **Surface Parking Lot Lighting Standards**

(a) All parking lot areas shall be adequately lighted with lighting fixtures that are effectively shielded and shall be installed and/or positioned to not present direct glare to any adjoining streets or parcels.

10.705.K **Signage**

Signs are applied architectural elements and can be used to reinforce the architectural style of the building and express the presence of a particular type of establishment. Good sign designs will enliven and enrich

the streetscape experience for pedestrians without detracting from the special coherence and quality of the streets and public spaces.

The following regulations are applicable to all Sub-districts unless otherwise noted:

- 10.705.K.1** Maximum gross area of signs on a given façade shall not exceed ten percent of the façade area.
- 10.705.K.2** Projecting signs shall not project more than 24 inches from the face of the building, shall not exceed 6 square feet, and shall maintain a minimum clear height of 8 feet above sidewalks.
- 10.705.K.3** In no case shall signs project beyond the curb line.
- 10.705.K.4** No projecting sign shall be permitted within 5 feet of any other projecting sign.
- 10.705.K.5** Parallel and projecting signs shall be illuminated either by exterior wall mounted fixtures or individually backlit letters.
- 10.705.K.6** Back lighting is permitted as an exception only for individual letters or numbers; panelized back lighting and back lit awnings shall be prohibited.
- 10.705.K.7** Sign illumination by bare floodlight, blinking or flashing bulbs is prohibited.
- 10.705.K.8** Temporary signs (such as sandwich boards) may be permitted on the sidewalk with special approval of the STT-STJ HPC.
- 10.705.K.9** Temporary banner signs may be allowed with special approval of the Zoning Administrator.
- 10.705.K.10** Signs shall be permitted in the following materials: wood (painted or natural); metal (copper, brass, galvanized steel, raw steel); painted canvas; paint or engraving directly on a façade surface.



Fig. 10.705.32 – Perpendicular signs allow for diversity of design.



Fig. 10.705.33 – Sign mounted perpendicular to building façade.



Fig. 10.705.34 – Signs hanging under an awning.



Fig. 10.705.35 – Sign mounted flat against the façade.

10.705.L Parking

10.705.L.1 Parking Requirements

- (a) There shall be no minimum parking requirements in the Charlotte Amalie District.

10.705.L.2 Parking Placement & Access

- (a) Surface parking lots are not permitted to be located in front of a building.
- (b) Off-street parking shall be set back a minimum of ten (10) feet from all public rights-of-way. Off-street surface parking lots along Primary Frontages shall be masked from the Primary Frontage by a Liner Building or Streetscreen.
- (c) Where possible parking lots should be located in the rear of the lot and accessed from a rear lane. If no rear lane exists, then efforts should be made to achieve cross access across neighboring properties for rear parking. Access between parking lots across property lines is encouraged.

- (d) Parking garage entrances or exits shall not exceed 2 lanes (maximum 12' each lane) in width. If additional lanes are needed, they shall be located in an entrance/exit a minimum of 10' from neighboring entrance/exit.

10.705.L.3 Surface Parking Lot Design

Small lot sizes, combined with dramatic topography often make it difficult to provide sufficient parking on individual lots. *The Town's Blueprint* identified areas for consolidated parking and established the desire for these parking areas to also serve as small community gathering spaces. When parking demand is low, the spaces can be used for recreational activities.

The standards below seek to balance the needs of parked motor vehicles and people. The design details of these parking areas will make the spaces comfortable for recreation.

- (a) All surface parking lots less than ten thousand (10,000) sq. ft. shall be permeable. This may be achieved by surfacing the lot with grass, pervious pavers, or other permeable materials.
- (b) Each off-street surface parking lot providing access to more than 5 parking spaces shall have a minimum of two medium to large shade trees, with a minimum two (2) inch caliper, for every 5 parking spaces.
- (c) Shrubs, groundcovers and other plant materials shall be used to complement the trees. Planting islands and planting beds within a surface parking lot shall be predominantly (more than 50%) surfaced with groundcovers and shall not be covered solely in lawn (grass).
- (d) Surface parking lots shall minimize the use of vertical curbing within the parking field in order to maximize stormwater run-off into planted areas.
- (e) Parking Area design shall ensure that vehicles be prohibited from encroaching on the designated landscape areas, but without use of a continuous vertical curb, i.e. with bollards, boulders or grading.

10.705.L.4 Parking Structures

- (a) Exposed parking structures shall not be permitted on the ground floor along Primary Frontages, or at any level along Primary Frontages that face the waterfront. Habitable Liner Buildings shall be used to shield views of parking structures and shall meet the Architectural Standards (Subsection 10.706).
- (b) Where Liner Buildings are provided, they shall contain a minimum of twenty (20) feet (in depth) of habitable space. Liner Buildings may be detached from or attached to parking structures.
- (c) Exposed parking structures shall be compatible in color, form, and quality with architectural details of adjacent buildings and specific detailing elements (such as location and proportion of openings) shall adhere to the Architectural Standards (Subsection 10.706). Specifically:
 - (1) Ramps or sloped floors of parking garage shall not be visible from the street.
 - (2) Individual openings and fenestrations shall be vertically-proportioned (taller than they are wide).
 - (3) Openings and fenestrations should be designed to match proportions and surrounding details, including lintels and sills, and habitable space portions of the building, liner building, or neighboring building facades.
- (d) Parking structures shall conceal views of autos from public streets and public spaces.
- (e) Fenestration on the ground level of parking structures (which are not lined with habitable space) shall be covered with visually attractive screening to minimize the view of parked autos and interior lighting seen from the street.
- (f) Signage and light sources internal to parking structures shall not be visible from outside the structure.
- (g) Lighting, particularly on parking decks, shall not illuminate or produce glare to adjacent properties. Lamps shall be able to be dimmed or controlled by motion-sensor after 11pm.

10.706 Building Form & Architectural Standards

10.706.A Building Massing

The massing of new structures shall be kept as simple as possible. Simple building shapes are less expensive to construct, easier to roof and maintain, and fit more harmoniously with local historic precedents.



Fig. 10.706.1



Fig. 10.706.2

10.706.A.1 No building shall have a footprint with more than eight (8) corners, excluding porches, balconies, stoops and other Appurtenances. Exceptions may be granted by the St. Thomas-St. John Historic Preservation Committee (STT-STJ HPC) to meet specific site constraints.

10.706.A.2 Building walls shall all be vertical. No enclosed building area may cantilever out past the building wall on front facade, back wall, or on two sides at once. An enclosed side cantilever is permitted for small, nonconforming lots similar to the model established in Savan for side entrances.



Fig. 10.706.3 - Savan Cantilever (permitted)

10.706.A.3 The corners of a building shall be at ninety (90) degree angles to each other, unless prevented by irregular site geometries or other constraints.

10.706.B Façade Composition

10.706.B.1 Windows and doors shall align vertically along their center lines from the basement level to the uppermost story.

10.706.B.2 The openings within the Primary Façade of all buildings shall be symmetrically arranged. Exceptions may be granted by the STT-STJ HPC to meet specific site constraints or building programs.

10.706.B.3 Window and door openings shall be regularly spaced horizontally and shall be no closer than the width of a typical window opening.

10.706.B.4 Buildings which are faced completely in brick, stone or stucco shall have some type of Expression Lines along the first floor level and a Cornice line beneath the eave. Two and three story buildings shall also have an Expression Line along the second floor level (Fig. 10.706.4).

10.706.B.5 Expression Lines shall project a minimum of two (2) inches from the building façade.

10.706.B.6 Any building façade over one hundred (100) feet in length shall be broken up into two or more distinct facades separate by a recessed break of at least three (3) feet in width and three (3) feet in depth from the primary wall face.

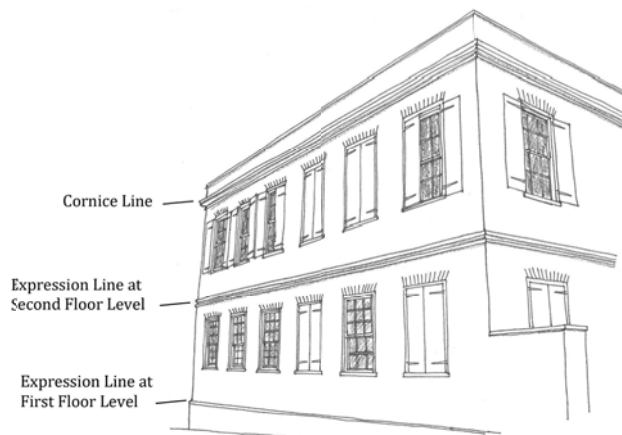


Fig. 10.706.4

10.706.B.7 Building façades may also have raised vertical corners or quoins at the primary frontage. Raised corners or quoins shall be scaled appropriately according to the building's scale.

10.706.C Primary Frontages

The following additional regulations shall apply to all buildings along a Primary Frontage, as indicated on the Regulating Plan in Subsection 10.703. Buildings along Primary Frontages shall be held to the strictest design standards.

10.706.C.1 Building facades which face onto a Primary Frontage shall have a minimum of one street facing entrance for every fifty (50') of length.

10.706.C.2 The ground floor of buildings facing a Primary Frontage shall have windows and/or doors spaced no farther apart than five (5) feet along the adjacent street or sidewalk.

10.706.D Roofs

Permitted roof types shall be Gable, Raking Gables (Fig. 10.706.5), Hipped (Fig. 10.706.6), Half-Hipped or Clipped Gable (Fig. 10.706.7), Gambrel, Mansard, Shed, and Shed with Parapet.

10.706.D.1 There is a tradition in Charlotte Amalie for gable roofs on civic structures. Gable roofs shall be permitted on civic structures, without restriction. Gable roofs may be used on other building types, but only on spans of less than fifteen (15) feet. Gable roofs shall have a minimum symmetrical pitch of 6:12 and a maximum symmetrical pitch of 12:12. Raking Gable roofs shall adhere to the same requirements, with the addition of small, symmetrical parapets at the gable ends.

10.706.D.2 Hipped roofs shall have a minimum symmetrical pitch of 6:12 and a maximum symmetrical pitch of 12:12. Hipped roofs which cover a porch or balcony only shall have a pitch of less than 4:12. A Hipped or Shed Roof may be enclosed by a Parapet extending up from the walls of the structure below (see background building in Fig. 10.706.6). When this occurs, the parapet shall extend up a minimum of two (2) feet on all sides of the building.

10.706.D.3 Half-Hipped roofs shall have a minimum symmetrical pitch of 6:12 and a maximum symmetrical pitch of 12:12. The hipped portion of the roof shall be no more than fifty (50) percent of the total height of the roof from eave to ridge.

- 10.706.D.4** Gambrel roofs shall be symmetrical, dual-pitched and meet at a ridge at the top. Gambrel roofs shall have a lower pitch of between 14:12 and 16:12, and an upper pitch of between 6:12 and 10:12.
- 10.706.D.5** Mansard Roofs shall be symmetrical on all sides of the building with a dual-pitch meeting at a ridge or point at the top. Mansard roofs shall have a lower pitch of between 14:12 and 16:12, and an upper pitch of between 6:12 and 10:12.
- 10.706.D.6** Shed with parapet roofs shall have a maximum pitch of 1:12 and shall be enclosed by a solid parapet at least two (2) feet high on at least three (3) sides. A parapet shall be located on all sides of a building which face a street or public space.
- 10.706.D.7** Shed roofs are only permitted when they cover a balcony, porch, or an addition to a main roof such as a Gable or Hipped roof.
- 10.706.D.8** Skylights are not permitted on any portion of a roof which is visible from a street or public space.
- 10.706.D.9** No roof shall have an overhang.
- 10.706.D.10** Hipped roofs and gable roofs may have a change in pitch along the lower portion near the eave (Fig. 10.706.8). This detail is typical of buildings in Charlotte Amalie and the pitch of this lower roof is exempt from minimum requirements.



Fig. 10.706.5 – Raking Gable



Fig. 10.706.6 – Hipped Roof



Fig. 10.706.7 – Half-Hipped Roof



Fig. 10.706.8- Change in pitch at lower roof

10.706.E Roofing Materials

Permitted roofing materials for sloped roofs include Corrugated Sheet Metal (Fig. 10.706.9), Standing Seam Metal (Fig. 10.706.10), Flat Clay or Terracotta Tile (Fig. 10.706.11 & Fig. 10.706.12), Barrel Vault Clay Tiles, Sheet Metal Plates, and Metal Flat Pan Tiles. Flat roofs, which shall be hidden by parapet walls, may be covered with other materials such as asphalt, vinyl, or rubber membrane.

10.706.E.1 All types of metal roofs shall be red or silver and may be painted.

10.706.E.2 Tile roofs shall be Terracotta natural color or glazed red and of a uniform color.



Fig. 10.706.9



Fig. 10.706.10



Fig. 10.706.11



Fig. 10.706.12

10.706.F Windows

Permitted window types include Double-Hung (Fig. 10.706.13), Wood Jalousie (Fig. 10.706.15), and Casement (Fig. 10.706.14).

10.706.F.1 All windows shall be operable.

10.706.F.2 All window openings and window components shall be vertically proportioned, that is the height of the overall opening as well as of the individual components must be greater than the width.

10.706.F.3 Windows shall be located no closer to the corner of a building than a dimension equal to $\frac{3}{4}$ of the width of the window opening.

10.706.F.4 All glazed windows shall be made of impact-resistant glass, or if not, shall have operable shutters (see 10.706.G)

10.706.F.5 All glass shall be clear and non-reflective.

10.706.F.6 Glazing patterns for Double-Hung windows shall either be 2 over 2, 6 over 6, or 12 over 12.



Fig. 10.706.13 – Double Hung Window



Fig. 10.706.14 – Casement Window



Fig. 10.706.15 – Wood Jalousie Window



Fig. 10.706.16 – Double Hung Window

10.706.G Shutters

All glazed windows and doors which contain windows which are not made of impact resistant glass shall have shutters. Figures 10.706.17 through 10.706.20 show permitted shutter configurations.

10.706.G.1 All shutters shall be constructed of solid wood components (exceptions for composite wood shutters may be granted by the STT-STJ HPC after submission of material samples). Metal shutters are only permitted as replacements of existing metal shutters on historic buildings.

10.706.G.2 Shutters shall be one of two kinds: vertical boards on the back with panels on the front (Fig. 10.706.17), or vertical boards on the back with horizontal boards on the front (Fig. 10.706.18 & Fig. 10.706.20). For the purposes of this code, the back of a shutter is the side which faces the wall, when open. For Shutters with recessed or raised panels all corners of the panels must have miter joint corners and not rounded ones.

10.706.G.3 All shutters shall be sized to cover the entire window or door opening when closed.

10.706.G.4 All shutters shall be operable.

10.706.G.5 Shutter hardware and hinges shall be made of wrought iron or cast iron, and shall be left the natural color or painted black. Shutter hardware made of stainless steel must be painted black.



Fig. 10.706.17



Fig. 10.706.18



Fig. 10.706.19



Fig. 10.706.20

10.706.H Doors

10.706.H.1 All doors shall be constructed out of solid wood components (exceptions for composite wood or fiberglass doors may be granted by the STT-STJ HPC after submission of material samples).

10.706.H.2 All door openings shall have shutters. However, the STT-STJ HPC may exempt some main entrance doors for new houses based on the design.



Fig. 10.706.21

10.706.I Balconies & Arcades

10.706.I.1 Balconies shall be a minimum depth of two (2) feet, and a maximum depth of four (4) feet, as measured perpendicular from the wall face to the outside of the railing.

10.706.I.2 Balconies shall have minimum underside clearance of nine (9) feet.

10.706.I.3 Balconies may extend into the right-of-way (over the sidewalk), but shall not extend closer than two (2) feet from the curb below.

10.706.I.4 Balconies must be visually supported from below by iron brackets placed at regular intervals of no more than ten (10) feet. Iron brackets shall have the traditional curve shape and scroll ends.

10.706.I.5 Balconies may have hipped or shed roofs which shall be supported by wood or iron posts placed at regular intervals and coinciding with brackets below.

10.706.I.6 Arcades along the front or sides of a building are not permitted, except when replacing an existing arcade on a historic structure.



Fig. 10.706.22



Fig. 10.706.23



Fig. 10.706.24



Fig. 10.706.25

10.706.J Stoops & Front Staircases

- 10.706.J.1 Stoops shall have a minimum depth of four (4) feet, as measured perpendicular from the building wall face to the outside of the railing or parapet wall.
- 10.706.J.2 Stairs leading up to a stoop along a street shall run perpendicular to the building in a single straight flight. However, if space does not allow for a straight run, the stairs shall run parallel to the façade of the building. Some acceptable stair designs are the Welcoming Arms, Two flights with landing, Dog-leg with landing, Dog-leg with winding stairs, the Masonry Spiral and Arched steps over guts (Fig. 10.706.26 - Fig. 10.706.29).
- 10.706.J.3 Stoops shall match the architectural language of the building, using similar details and materials.
- 10.706.J.4 Stoops may encroach into the right-of-way, however a four (4) foot clearance shall be maintained on the sidewalk for pedestrians.
- 10.706.J.5 Stoops and stairs may be made of exposed yellow bricks, granite, cut sandstone, and marble tiles.



Fig. 10.706.26 – Dog-leg with landing



Fig. 10.706.27– Dog-leg with landing



Fig. 10.706.28 – Arched step over gut

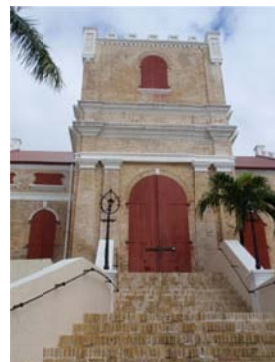


Fig. 10.706.29 – Welcoming Arms

10.706.K Porches

- 10.706.K.1 Porches shall have a minimum depth of six (6) feet, as measured perpendicular from the wall face to the outside of the columns.
- 10.706.K.2 Multi-story porches are permitted, up to two (2) stories.
- 10.706.K.3 Porches may not extend into the public right-of-way.
- 10.706.K.4 Back and side porches may be screened; however, if screened, all architectural elements (columns, posts, railings, etc.) must occur on the outside of the screen.
- 10.706.K.5 The finished floor of each porch level shall be even with, or at most eight (8) inches below, the level of the interior finished floors of the building.
- 10.706.K.6 Stairways leading from a porch to an adjacent sidewalk may encroach into the right-of-way, however a minimum four (4) foot clearance shall be maintained on the sidewalk for pedestrians.



Fig. 10.706.30



Fig. 10.706.31

10.706.L Columns & Posts

- 10.706.L.1 Openings between columns and posts shall always be vertically proportioned.
- 10.706.L.2 Columns and posts shall be regularly spaced (Fig. 10.706.32).
- 10.706.L.3 Columns and posts shall always be positioned correctly with the neck aligned under the outside edge of a beam or Entablature (Fig. 10.706.33).

10.706.L.4 Classical columns and posts shall be correctly proportioned, and shall always support a corresponding entablature. (For guidance, reference *The American Vignola: A Guide to the Making of Classical Architecture* by William Ware.)



Fig. 10.706.32

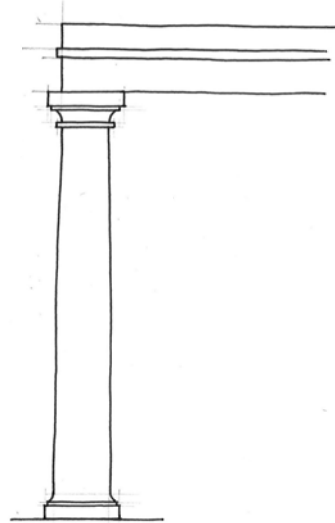


Fig. 10.706.33 - Correct Column Position

10.706.M Awnings

The use of awnings in the Historic District is limited to doorways on ground level by the STT-STJ HPC. Further expansion on where they can be placed shall be subject to the review and approval of the STT-STJ HPC.

10.706.M.1 Awnings which shelter a Shopfront shall have a minimum depth of four (4) feet, as measured perpendicular to the wall face.

10.706.M.2 Awnings shall have a minimum underside clearance of eight (8) feet, as measured vertically from the sidewalk.

10.706.M.3 The top of Awnings shall be no more than one (1) foot above the top of the window opening below (Fig. 10.706.32).

10.706.M.4 Awnings may encroach within the right-of-way, but shall not extend closer to the curb than two (2) feet.

10.706.M.5 Awnings shall be made of durable fabric and may be either fixed or retractable. High-gloss or plasticized fabrics are prohibited.

10.706.M.6 Lettering, business names, or logos are prohibited on awnings.

10.706.M.7 Backlit awnings are prohibited.

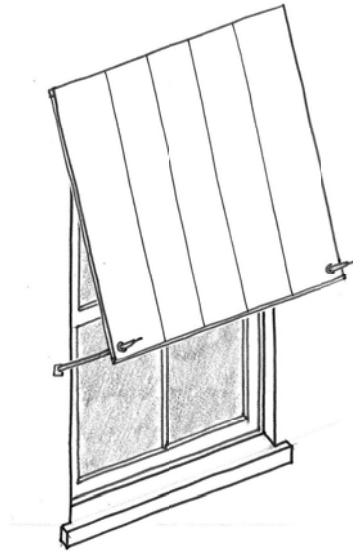


Fig. 10.706.34 - Correctly positioned awning

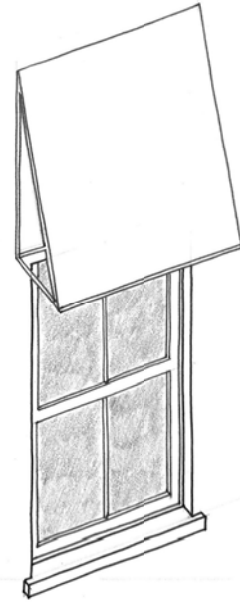


Fig. 10.706.35 - Incorrect

10.706.N Rails & Balusters

Rails and Balusters are often the only decoration on an otherwise simple building façade. There are many patterns which are unique to Charlotte Amalie which should serve as the basis for construction of new prototypes. The STT-STJ HPC will assist in selecting appropriate configurations. Several permitted patterns for are shown in Figures 10.706.36 through 10.706.39.

10.706.N.1 All railings and balusters shall be constructed of wood or iron.

10.706.N.2 When made of wood, rails and balusters shall be painted white to match the color of the other trim elements on the building such as doors and window surrounds, belt course bands, Cornices, and quoins.

10.706.N.3 When made of cast or wrought iron, rails and balusters shall be left a natural color or painted black or white. Rails and balusters made of aluminum or stainless steel shall be painted black or white.

10.706.N.4 Balusters shall be supported at the top and bottom by a rail and shall never extend down to the floor.

10.706.N.5 Rails shall be supported on the ends by columns, Banisters or the building wall.



Fig. 10.706.36



Fig. 10.706.37



Fig. 10.706.38



Fig. 10.706.39

10.706.O Building Wall Materials

Permitted building wall materials include brick, stone, masonry faced with stucco, and wood-frame covered with either wood siding or wood shingles.

10.706.O.1 Building wall configurations permitted include: all brick, all stone, all masonry faced with stucco, masonry faced with stucco on the ground floor and wood siding or shingles on upper floors, all wood siding or shingles.

10.706.O.2 Building wall materials, when combined, shall be combined only horizontally on each façade, with the change in material only occurring at the floor level.

- 10.706.O.3** No structure shall have exterior walls of more than three finish materials.
- 10.706.O.4** Wood siding shall either be lap, shiplap, or drop siding, applied horizontally in boards of between five (5) and eight (8) inches. Vinyl and aluminum siding are not permitted.
- 10.706.O.5** Wood shingles shall be of cedar and shall be laid in regular courses. Wood shingles may be left to weather naturally, painted, or be stained.
- 10.706.O.6** All wood siding and shingles types must incorporate vertical corner boards on outside building corners. Corner boards shall be a minimum of four (4) inches in width.
- 10.706.O.7** Imitation brick and manufactured stone are not permitted.
- 10.706.O.8** Wood-frame structures shall have foundation walls and/or piers of stone, brick, or masonry faced in stucco.



Fig. 10.706.40 – Masonry faced with Stucco



Fig. 10.706.41 - Brick



Fig. 10.706.42 – Shiplap Siding



Fig. 10.706.43 – Cedar Shingles

10.706.P Paint Colors

The following section outlines permitted paint colors for building walls, shutters and trim. The STT-STJ HPC may approve additional appropriate paint colors.

10.706.P.1 On buildings faced in all stucco

Walls: White, Ivory, Cream, Yellow, Gold, Linen, Peach
Trim: White
Shutters: Grey, White, Navy Blue, Brown and Hunter Green

10.706.P.2 On buildings faced with stucco on the ground floor and wood siding or shingles on the upper floors

Stucco Walls: White, Ivory
Wood Walls: Cream, Yellow, Gold, Linen, Grey, Peach
Trim: White
Shutters: Grey, White, Navy Blue, Brown and Hunter Green

10.706.P.3 On buildings faced in all wood siding or shingles

Walls: White, Ivory, Cream, Yellow, Gold, Linen, Peach, Grey, Pink, Blue, Green
Trim: White
Shutters: Grey, White, Navy Blue, Brown and Hunter Green

10.706.Q Brick Detailing

10.706.Q.1 All openings in a brick wall shall be spanned by a header at the top, either in the form of a brick flat arch (Fig. 10.706.44), semi-elliptical or 3-centered arch (Fig. 10.706.45), segmental arch, or wood Lintel alone or combined with a flat arch.

10.706.Q.2 All headers shall be slightly wider than the opening they span and shall visually appear able to carry the wall load above.

10.706.Q.3 All headers shall be a minimum of four (4) inches in height and shall not project from the wall surface.

10.706.Q.4 All window openings shall have a sill along the bottom made of brick (Fig. 10.706.46), stone, cast stone (Fig. 10.706.47), or wood.

10.706.Q.5 Brick walls may be painted with review and approval of the STT-STJ HPC.



Fig. 10.706.44



Fig. 10.706.45

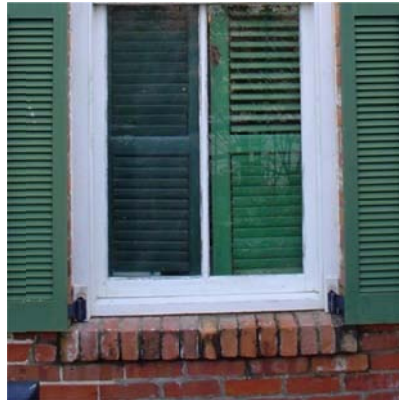


Fig. 10.706.46



Fig. 10.706.47

10.706.R Stone Detailing

10.706.R.1 All openings in a stone wall shall be spanned at the top by a stone or cast stone Lintel (Fig. 10.706.48). All Lintels shall be slightly wider than the opening they span and shall visually appear able to carry the wall load above.

10.706.R.2 All Lintels shall be a minimum of four (4) inches in height and shall not project from the wall surface.

10.706.R.3 All window openings shall have a sill along the bottom made of stone, cast stone, or wood.



Fig. 10.706.48

10.706.S Garden Walls & Fences

- 10.706.S.1** Garden walls may be constructed of stone, brick, or masonry faced with stucco.
- 10.706.S.2** The garden wall material and color shall match that of the building walls of the primary structure.
- 10.706.S.3** Fences may be constructed of wood or iron. Chain link fences are not permitted for any uses other than food gardens.
- 10.706.S.4** Fences shall be composed only of vertically proportioned components.
- 10.706.S.5** Masonry walls may be combined with wood or iron components (Fig. 10.706.50 & Fig. 10.706.51).
- 10.706.S.6** Along street frontages: Garden walls and fences shall be a minimum of two (2) feet in height, and a maximum of six (6) feet in height.
- 10.706.S.7** Along interior side and rear property lines: Garden walls and fences shall be a maximum of eight (8) feet in height.
- 10.706.S.8** Garden walls and fences shall not be located within or extend into a public right-of-way.
- 10.706.S.9** Garden walls and fences shall have openings no larger than necessary to accommodate pedestrians and vehicular access.



Fig. 10.706.50



Fig. 10.706.51



Fig. 10.706.52



Fig. 10.706.53

10.706.T Exterior Mechanical Equipment

For the purposes of this code, mechanical equipment shall include all components of air conditioning, heating and ventilation equipment, and electrical boxes and meters.

10.706.T.1 All exterior mechanical equipment shall be located on the ground behind or to the side of a structure, out of view from the street or adjacent public spaces.

10.706.T.2 When mechanical equipment is located on the ground and must be within view of a street or adjacent public space, then the equipment shall be enclosed by a wall or fence (Fig. 10.706.53).

10.706.T.3 Mechanic equipment may only be located on a roof which is flat and contains a parapet (Fig. 10.706.52).

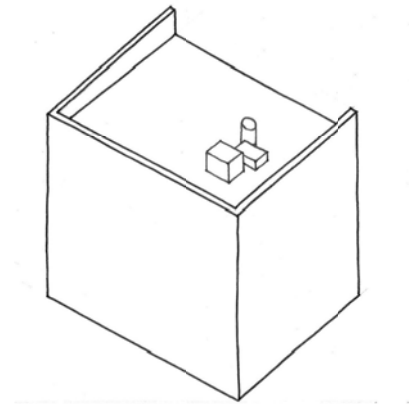


Fig. 10.706.54

10.706.U Hardscape Treatments

Historic paving, both in courtyards and on public sidewalks contributes to the overall quality and texture of the historic district. All paving for exterior hardscape areas shall be made to retain and enhance the character of the district.

10.706.U.1 All sidewalks in front of new houses or buildings shall be paved with either Bluebitch Stones with yellow brick edging, yellow bricks, concrete with segments of stone or brick paving, or cut stone paving tiles.

10.706.U.2 All walkways and driveways in front of new buildings or visible from the street shall be paved with yellow and/or red bricks, Bluebitch Stones, cobble stones, cut stone paver tiles, or concrete that incorporates a percentage of these materials as a finish surface. The amount of concrete used will be determined by the STT-STJ HPC review process.

10.707 Thoroughfare Standards

This section provides a framework and detailed specifications to guide the maintenance and repair of existing thoroughfares, and design of new thoroughfares in the Charlotte Amalie District.

10.707.A General Thoroughfare Standards

10.707.A.1 All thoroughfare improvements within the Charlotte Amalie District (implemented by public or private entities), shall follow the parameters established in this subsection.

10.707.A.2 The locations of thoroughfare improvements proposed during the *Town's Blueprint* planning process are identified on the Regulating Plan. Any future development or redevelopment by public or private entities in these areas must take into consideration the potential thoroughfare location, and shall not prevent future implementation.

10.707.A.3 In the future, if parcels are consolidated or sub-divided, or any improvement made to public or private land, the Zoning Administrator (in coordination with the Commissioner of Public Works) will make a determination as to what (if any) thoroughfare improvements are needed. The following provisions shall apply:

(a) Each Sub-district shall provide an interconnected network of streets. Any new thoroughfares shall connect to existing streets; the creation of new cul-de-sacs is prohibited. Exceptions may be made by the Zoning Administrator for sites with prohibitively steep slopes, in which case pedestrian connections (step streets) may be provided in place of street connections.

10.707.A.4 New or improved thoroughfares shall be designed to accommodate existing or anticipated public transit systems. The Zoning Administrator shall review all proposed street improvements for compliance.

10.707.A.5 The design of new or improved thoroughfares shall consider the width of pavement area, presence of on-street parking, the placement of landscaping, and the width and location of sidewalks to define high-quality outdoor spaces that maintain a pedestrian-friendly environment and that are in keeping with the existing historic context, and

fitting with the context of the Sub-district in which the thoroughfare is located.

- (a) The design of new or improved thoroughfares shall follow the provisions established in 10.707.B: Thoroughfare Assembly.
- (b) The Thoroughfare Types provided in 10.707.C – 10.707.F illustrate the proper arrangement of elements from the assembly table in 10.707.B, and are approved for use in each applicable Sub-district.
- (c) Future thoroughfare design or reconfiguration shall be based on the approved sections contained in this code, but may be modified based on existing building-to-building conditions. Specifically, before design and construction of thoroughfares in any given neighborhood, detailed measurements should be taken to ensure use of the most appropriate cross section. The Zoning Administrator, in coordination with the Commissioner of Public Works, will decide to accept, modify, or reject proposed thoroughfare cross sections based on a determination of consistency with the intent of this Sub-section and the minimum dimensions provided in 10.707.B.

10.707.B Thoroughfare Assembly

The assembly of thoroughfares is summarized in the following table. In addition to travel lane and parking minimums designated on each thoroughfare type, frontage elements (such as sidewalks and planters/ street trees) shall be provided as specified below. The goal is to provide the maximum pedestrian amenities feasible within the existing building-to-building width.

Sub-district	Town Center	Neighborhood Center	Neighborhood General	Neighborhood Edge
Walkability Grade**	Five-Star	Five and Four-Star	Three-Star	Two and One-Star
Thoroughfare Type	Boulevard, Main Street, Neighborhood Street	Neighborhood Street	Neighborhood Street	Neighborhood Street, Rural Road
Approved Thoroughfares	VD-52, VD-60, MS-11, MS-17, TC-1-1, TC-1-2, TC-2-0, TC-2-1, TC-2-2	NC-1-0; NC-1-1; NC-2-0; NC-2-1; NC-2-2	NG-1-0; NG-1-1; NG-2-0; NG-2-1	NE-1-0; NE-1-1; NE-2-0; NE-2-1; NE-2-0 Rural
Target Speed	15-25 MPH	20-25 MPH	20-25 MPH	20-25 MPH
Travel Lane Configuration	2 way/1 lane each direction; 2 way/ 2 lanes each direction; 1 way/1 lane each direction	2 way/1 lane each direction; 1 way/1 lane each direction	2 way/1 lane each direction; 1 way/1 lane each direction	2 way/1 lane each direction; 1 way/1 lane each direction
Travelway Width (X)	2 way: 16' minimum 1 way: 11' minimum	2 way: 16' minimum 1 way: 9' minimum	2 way: 16' minimum 1 way: 9' minimum	2 way: 16' minimum 1 way: 9' minimum
Parking Type	Parallel or Angled	Parallel	Parallel	Parallel
Parking Configuration	0, 1 or 2 sides	0, 1 or 2 sides	0 or 1 side	0 or 1 side
Parking Width (Y)	Parallel: 7'-8' Angled: 16'	Parallel: 6' minimum	Parallel: 6' minimum	Parallel: 6' minimum
Pavement Type	Paved	Paved	Paved or Unpaved	Paved or Unpaved
Pavement Width	X+Y	X+Y	X+Y	X+Y
Curb Radius	5'-25'	5-15'*	5-15'*	5-15'*
Sidewalk Configuration	1 or 2 sides	0, 1, or 2 sides	0, 1, or 2 sides	0, 1, or 2 sides
Sidewalk Width	5' minimum	No Minimum	No Minimum	No Minimum
Drainage	Grated gutter	Grated gutter or swale	Grated gutter or swale	Grated gutter or swale
Median	Allowed	Not allowed	Not Allowed	Not Allowed
Planter Type	Treewells (may be in parking lane)	Planting strip or treewells in parking lane	Planting strip or treewells in parking lane	Planting strip where space allows
Landscape Type	Trees 30' o.c. typ.	Trees 30' o.c. typ.	Trees 30' o.c. typ.	None
Bicycle Facility	Shared Lanes	Shared Lanes	Shared Lane; Bike Lanes	N/A

*Thoroughfares with travel lanes less than 10' and with no on-street parking, will need a 15' curb radius, to accommodate large trucks. If parked one-side, a 10' curb radius is acceptable.

**Walkability Grade is defined below (and further explained in The Town's Blueprint Summary Report, chapter 4):

One-star – Outer edge of Town: The least amount of walkable policies are applied to these more suburban, auto-dominant places.

Two-star – Neighborhood Edge: Improvements within the thoroughfare right-of-way (transportation-only policies) are applied to achieve some walkability in a drivable setting.

Three-star – Neighborhood General: Some land development pattern policies are also applied.

Four-star – Neighborhood Center: Significant land development pattern policies are combined with tested walkable thoroughfare design.

Five-star – Town Center: Maximum application of policies impacting transportation design and land development structure.

10.707.C Town Center Sub-district Thoroughfare Types

Within the Town Center Sub-district, specific thoroughfare sections have been illustrated for Veterans Drive and Main Street (Dronningens Gade). Additional approved sections are also provided that may be used throughout the Town Center Sub-district.

The Town Center and Neighborhood Center sub-districts shall have the greatest level of walkability. In the Town Center, retail frontages should provide wide sidewalks, shading devices (such as street trees, awnings, or second-floor balconies), and on-street parking for pedestrian comfort. Design speeds shall not exceed 25 mph. Bicyclists can be expected to share the lane with motor-vehicles; these shared lanes should be marked by a Sharrow.

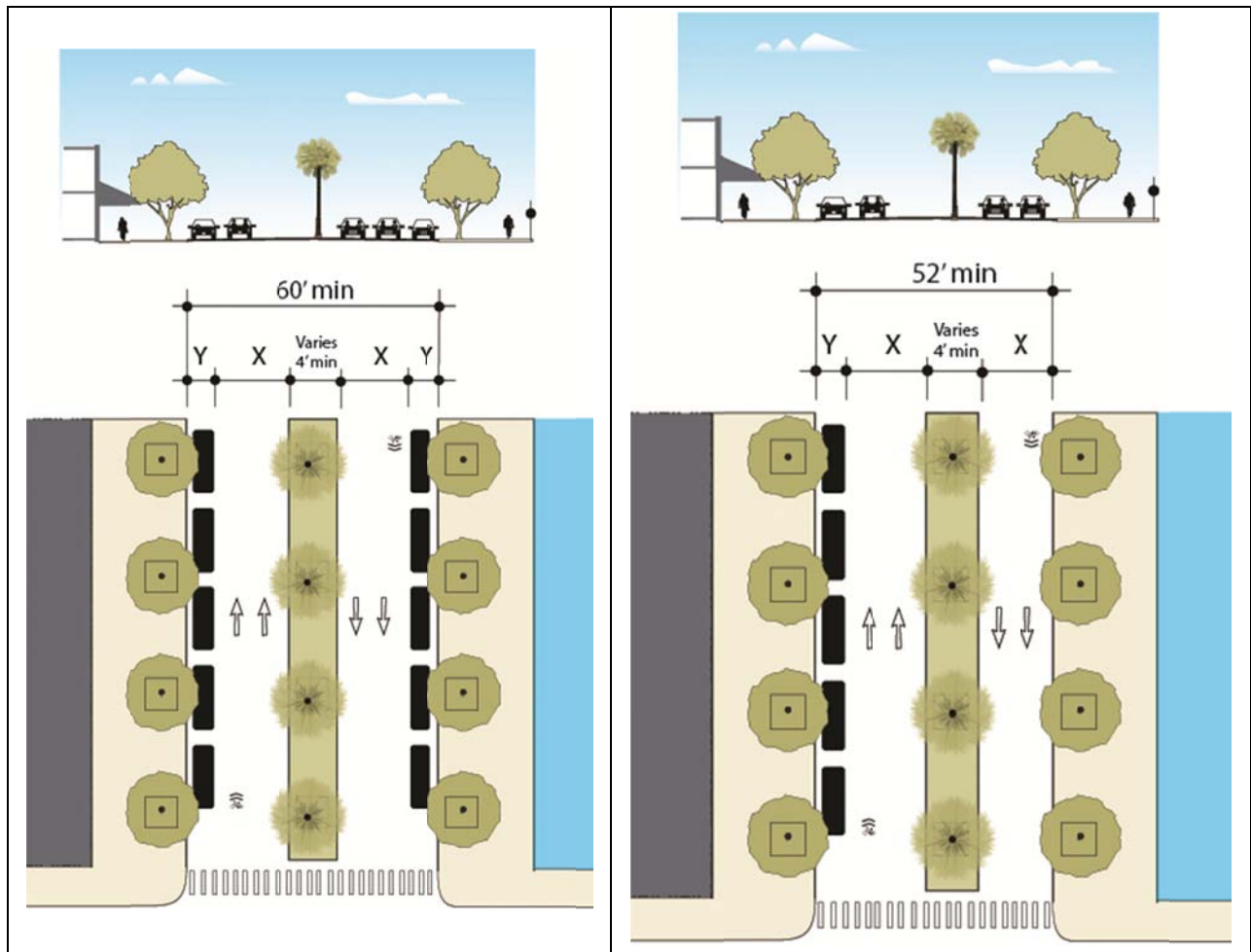


Fig. 10.707.1 – VD-60
 Two-way, parking on both sides of the street, with median
 Travelway: 60' min
 North side: sidewalks 18' wide min.; trees in tree grates
 South side: 20' min. waterfront promenade; trees in tree grates
Typical condition, Veterans Drive

Fig. 10.707.2– VD-52
 Two-way, parking on one side of the street, with median
 Travelway: 52' min
 North side: sidewalks 18' wide min.; trees in tree grates
 South side: 20' min. waterfront promenade; trees in tree grates
To be used on Veterans Drive where existing constraints prohibit use of the VD-60

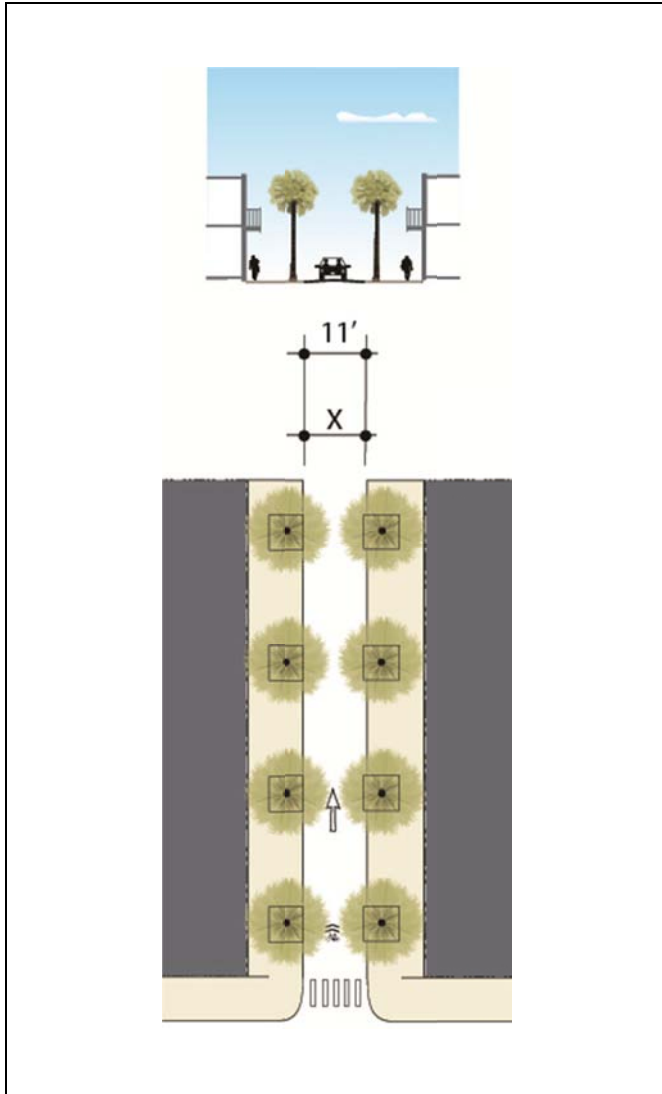


Fig. 10.707.3 – MS-11
 One-way, no on-street parking
 Travelway: 11'
 Sidewalks 10' - 13' wide typ (varies based on building-to-building width); trees in tree grates
 To be used on Main Street (Dronningens Gade)- Option 1

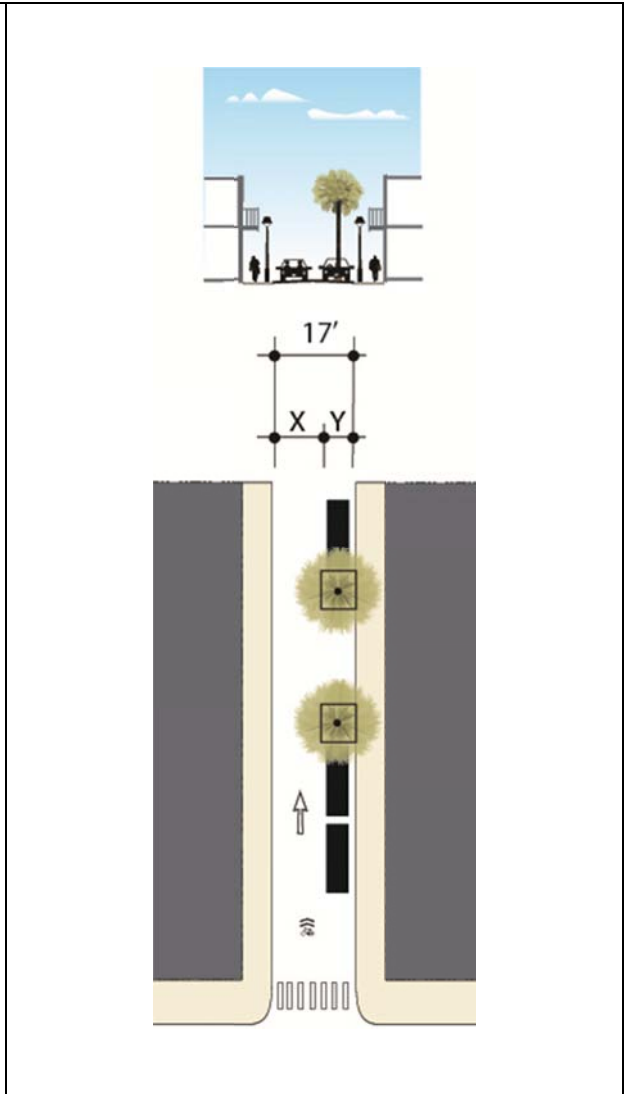


Fig. 10.707.4 – MS-17
 One-way, parking on one side of the street
 Travelway: 17'
 Sidewalks 7' - 9' wide typ (varies based on building-to-building width); trees in planters in parking lane
 To be used on Main Street (Dronningens Gade)- Option 2

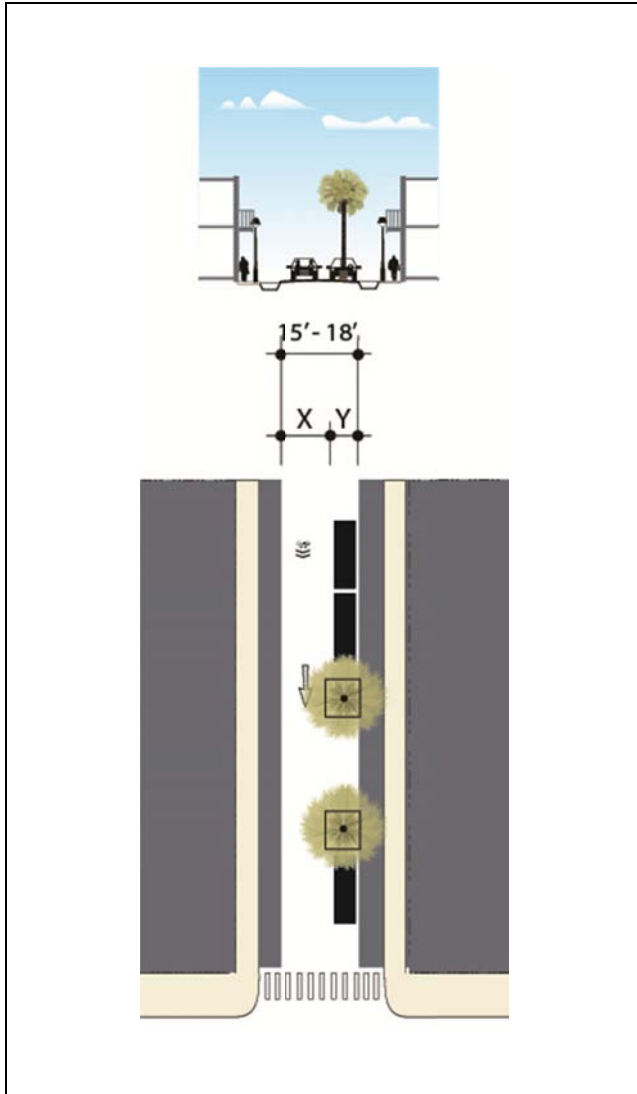


Fig 10.707.5 - TC-1-1
One-way, parking on one side of the street
Travelway: 15' - 18'
Sidewalks 7' - 9' wide type (varies based on building-to-building width); trees in planters in parking lane
To be used in Town Center Center Sub-district

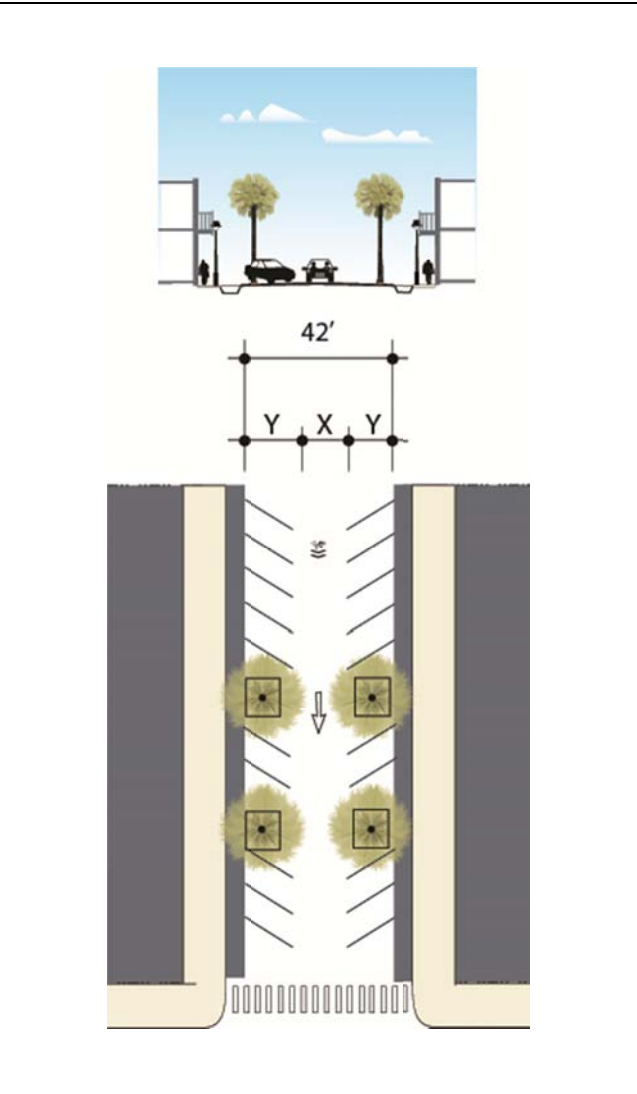


Fig 10.707.6 - TC-1-2
One-way, parking on two sides of the street (angled)
Travelway: 42'
Sidewalks 7' - 9' wide type (varies based on building-to-building width); trees in planters in parking lane
To be used in Town Center Center Sub-district

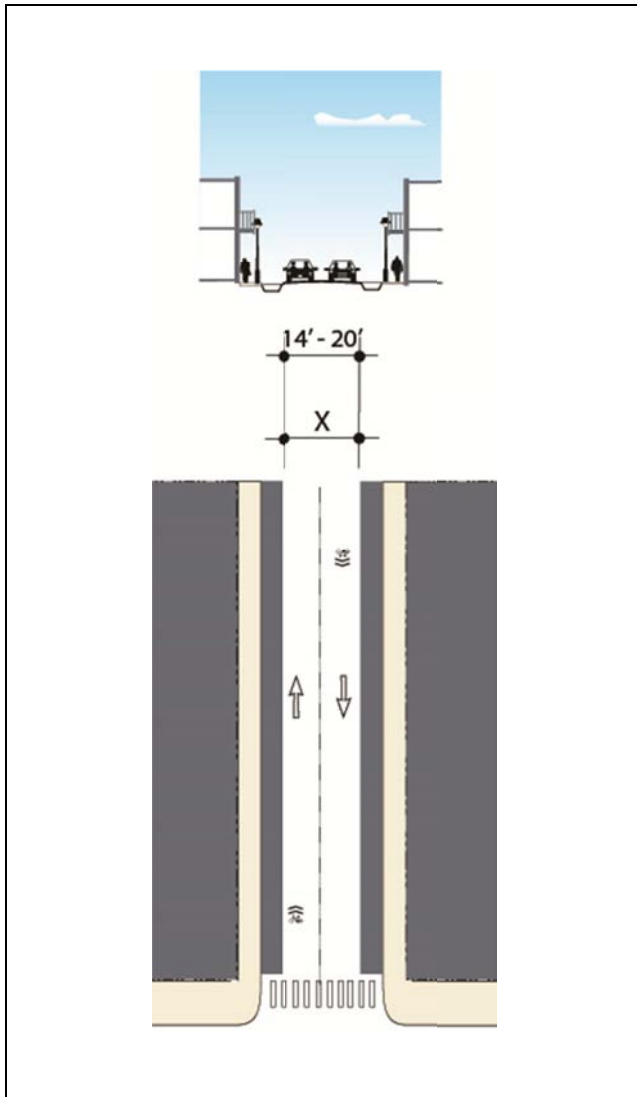


Fig 10.707.7- TC-2-0
 Two-way, no on-street parking
 Travelway: 14' - 20'
 Sidewalks 7' - 9' wide type (varies based on building-to-building width); trees in planters in parking lane
To be used in Town Center Center Sub-district

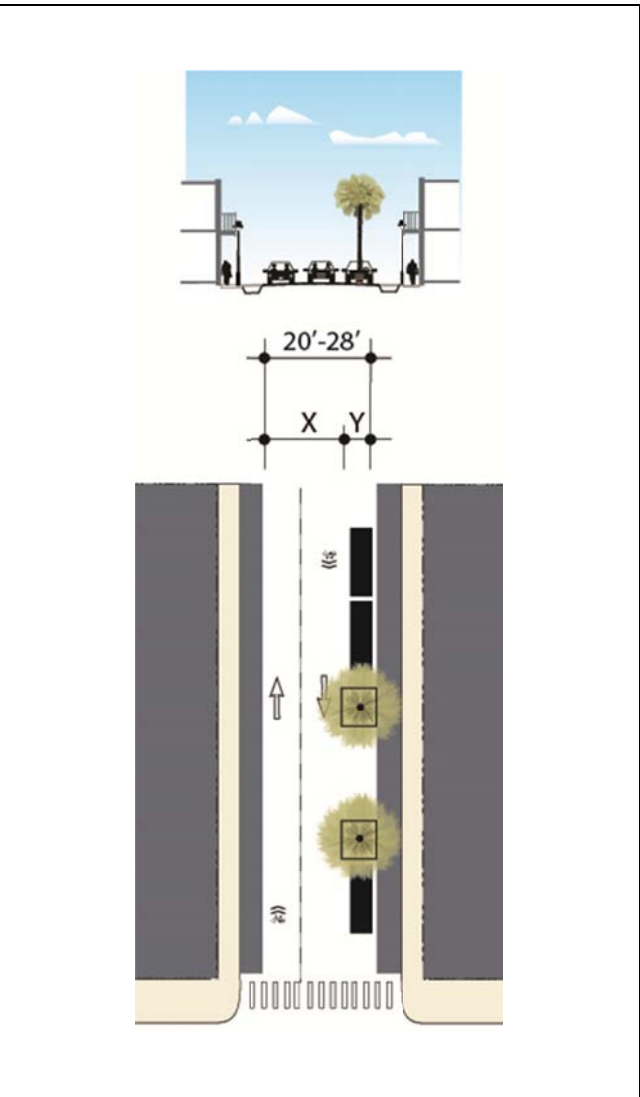


Fig 10.707.8 - TC-2-1
 Two-way, parking on one side of the street
 Travelway: 20' - 28'
 Sidewalks 7' - 9' wide type (varies based on building-to-building width); trees in planters in parking lane
To be used in Town Center Center Sub-district

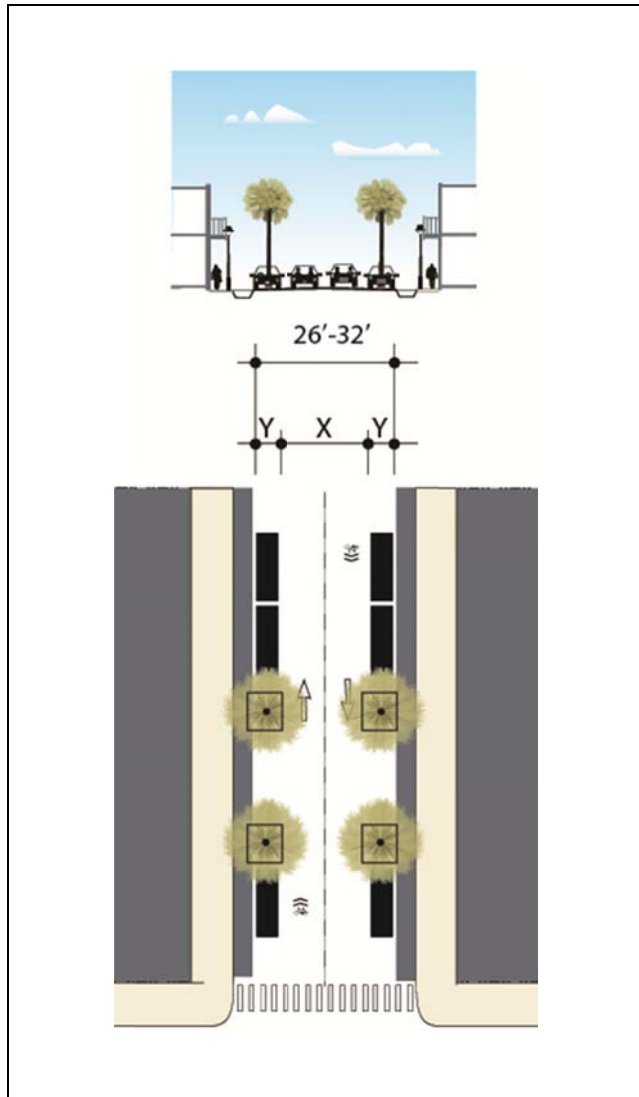


Fig 10.707.9 – TC-2-2

Two-way, parking on both sides of the street

Travelway: 26' – 32'

Sidewalks 7' – 9' wide type (varies based on building-to-building width); trees in planters in parking lane

To be used in Town Center Center Sub-district

10.707.D Neighborhood Center Sub-district Thoroughfare Types

The following sections are approved for use in the Neighborhood Center Sub-district. The sections prescribe the minimum dimensions needed for travelway and on-street parking. Frontage details (such as sidewalk and street trees) shall be added to each side, as space permits between existing buildings, in compliance with the standards established in 10.707.B. The Town Center and Neighborhood Center sub-districts shall have the greatest level of walkability; thus highest priority is given to pedestrian-friendly design elements such as continuous sidewalks, street trees, on-street parking and narrow travel lanes. Where grades allow, and target speeds for a thoroughfare are less than 25 mph, bicyclists can be expected to share the lane with motor-vehicles. These shared lanes should be marked by a Sharrow.

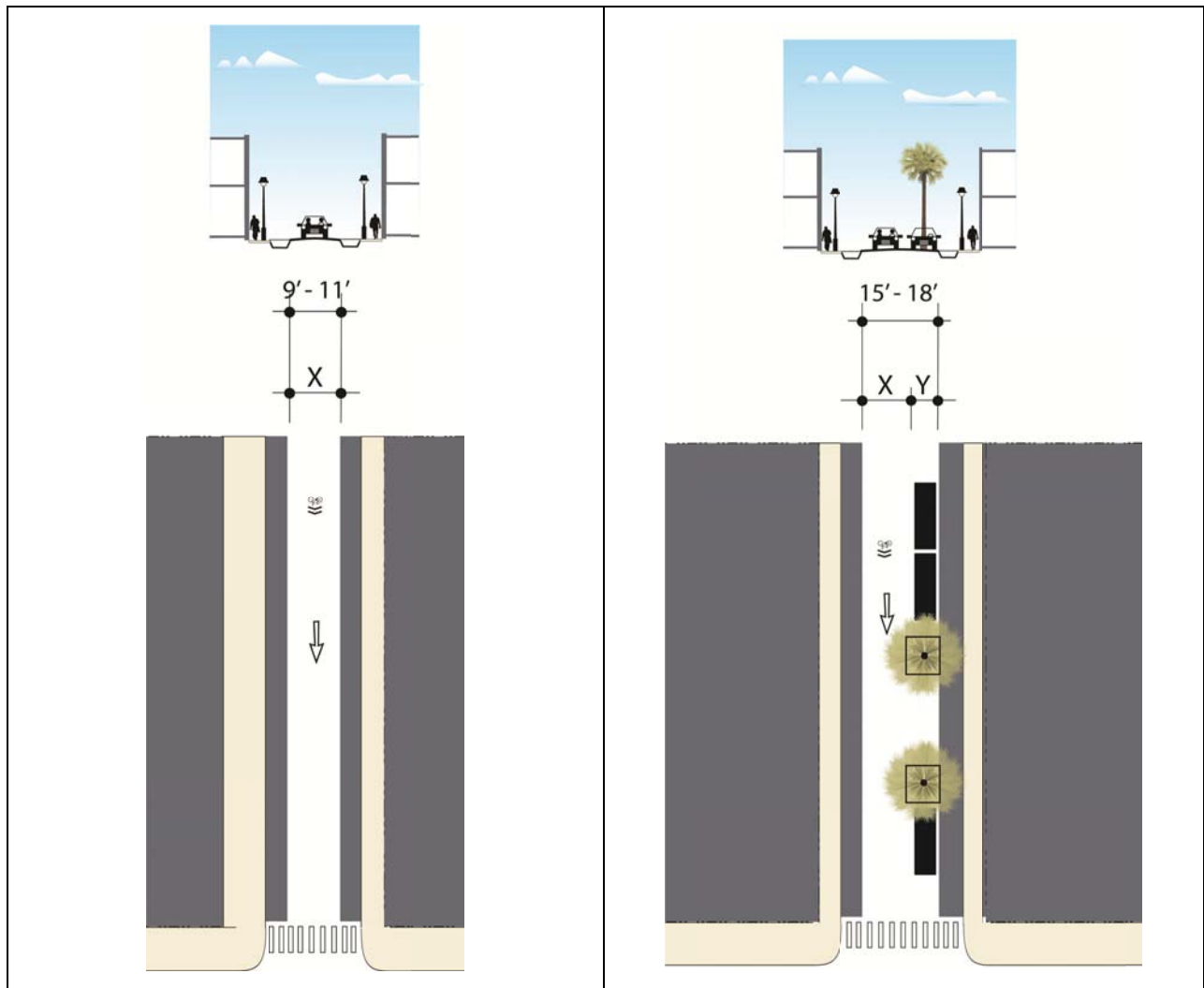


Fig. 10.707.10 – NC-1-0
One-way, no parking
Travelway: 9' – 11'
To be used in Neighborhood Center Sub-district

Fig. 10.707.11 – NC-1-1
One-way, one-side parked
Travelway: 15' – 18'
To be used in Neighborhood Center Sub-district

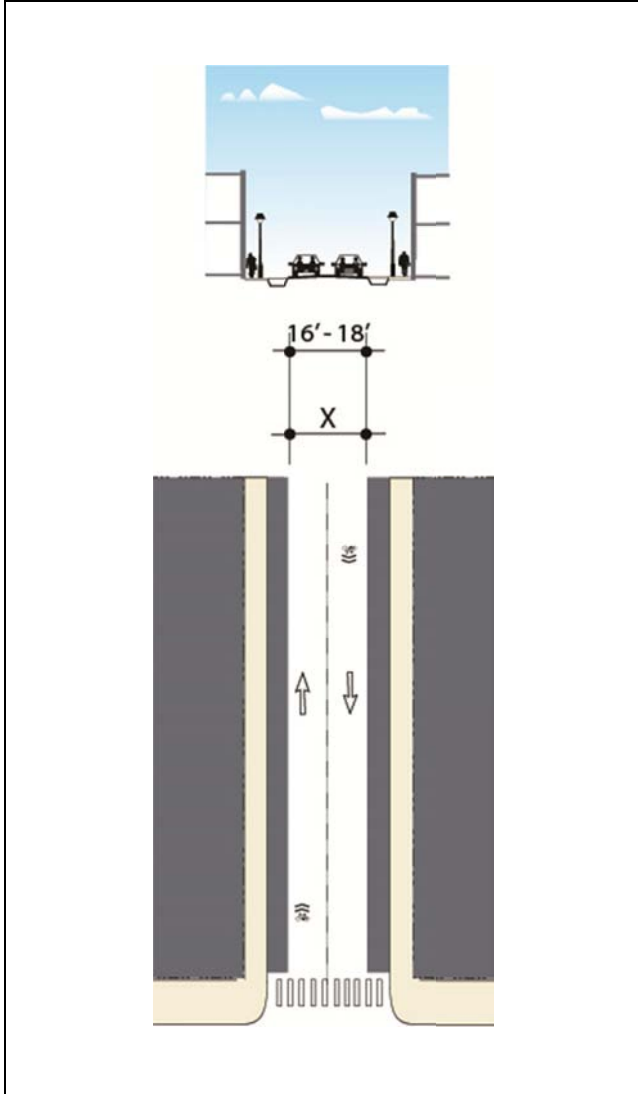


Fig. 10.707.12- NC-2-0
 Two-way, no parking
 Travelway: 16' - 18'
 To be used in Neighborhood Center Sub-district

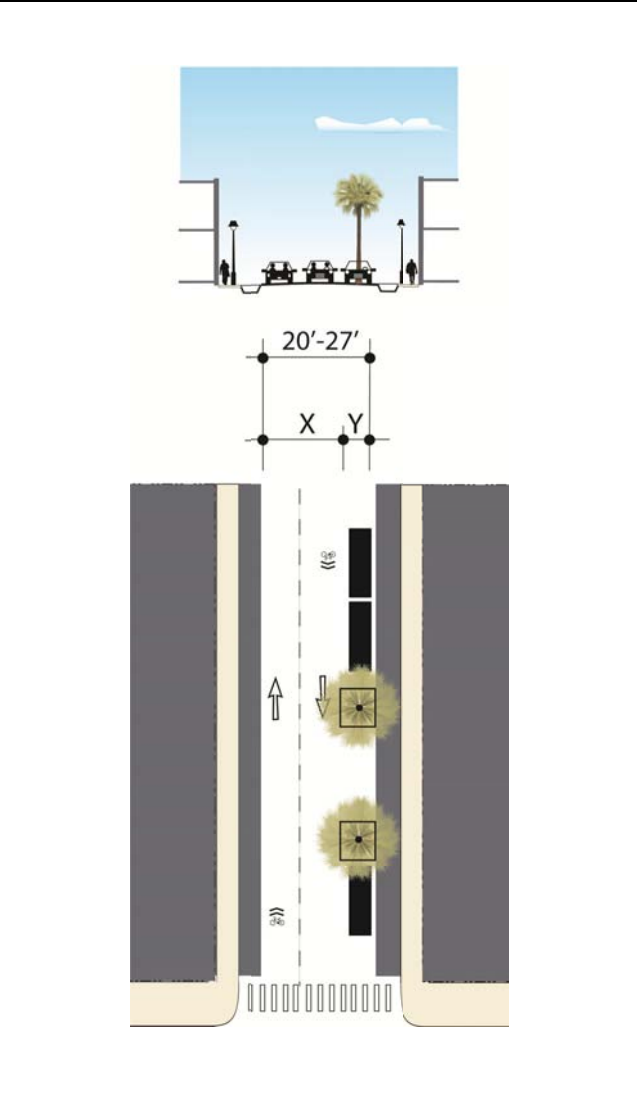


Fig. 10.707.13 - NC-2-1
 Two-way, one-side parked
 Travelway: 20' - 27'
 To be used in Neighborhood Center Sub-district

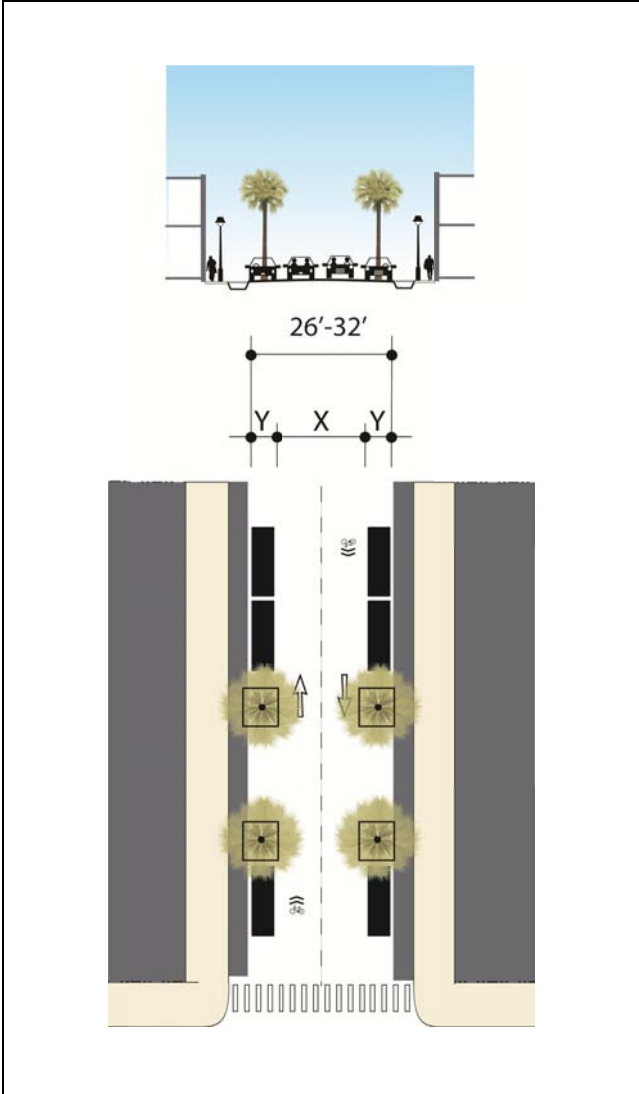


Fig. 10.707.14 - NC-2-2
Two-way, both sides parked
Travelway: 26' - 32'
To be used in Neighborhood Center Sub-district

10.707.E Neighborhood General Sub-district Thoroughfare Types

The following sections are approved for use in the Neighborhood General Sub-district. The sections prescribe the minimum dimensions needed for travelway and on-street parking. Frontage details (such as sidewalk and street trees) shall be added to each side, as space permits between existing buildings, in compliance with the standards established in 10.707.B.

Thoroughfares within the Neighborhood General Sub-district should be designed with greater consideration for pedestrians than in Neighborhood Edge conditions. Where possible, sidewalks should be widened and bicycle facilities provided where cyclists will be most present. Where grades allow, and target speeds for a thoroughfare are less than 25 mph, bicyclists can be expected to share the lane with motor-vehicles. These shared lanes should be marked by a Sharrow.

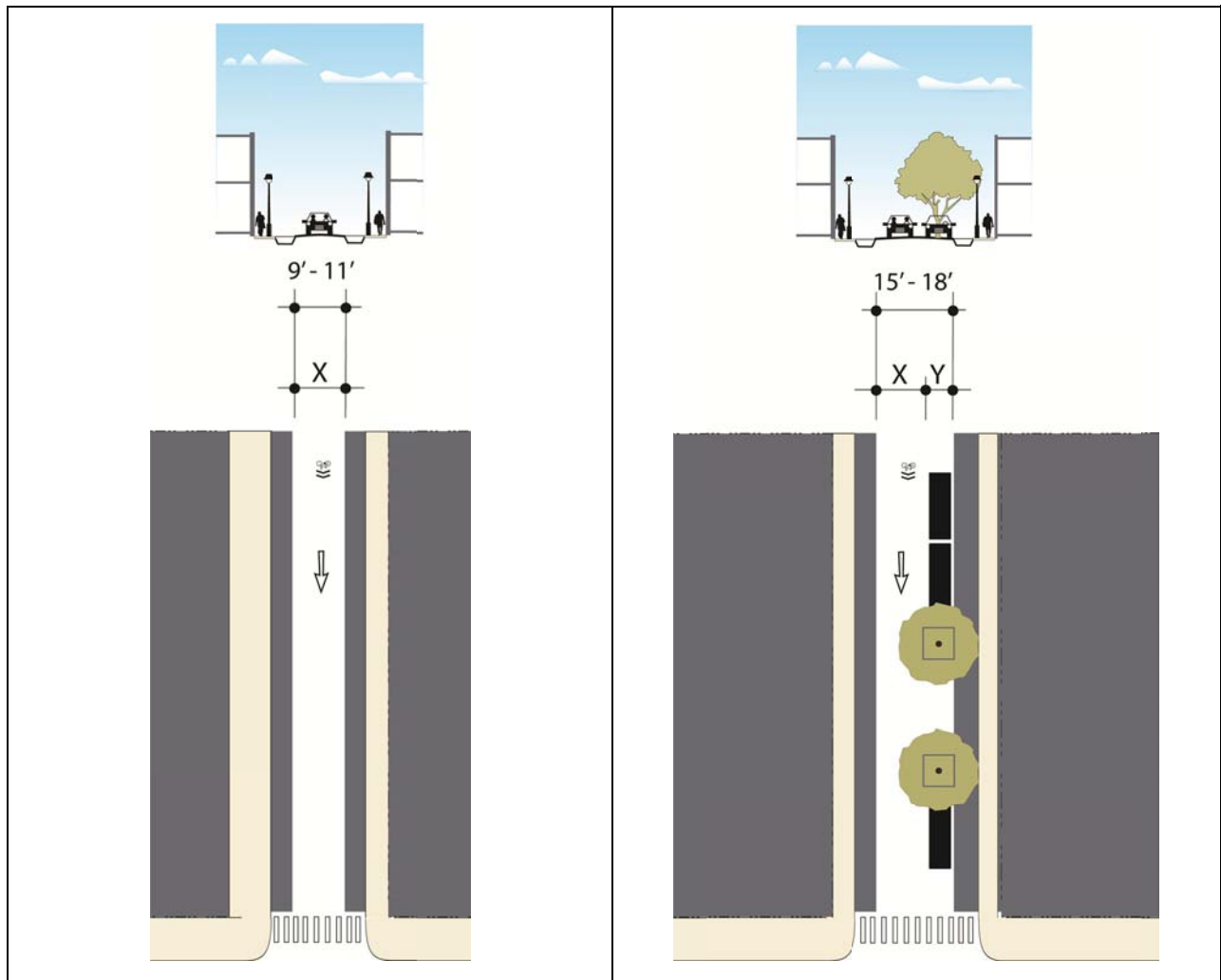


Fig. 10.707.15 – NG-1-0
 One-way, no parking
 Travelway: 9' – 11'
 To be used in the Neighborhood General Sub-district

Fig. 10.707.16 – NG-1-1
 One-way, one-side parked
 Travelway: 15' – 18'
 To be used in the Neighborhood General Sub-district

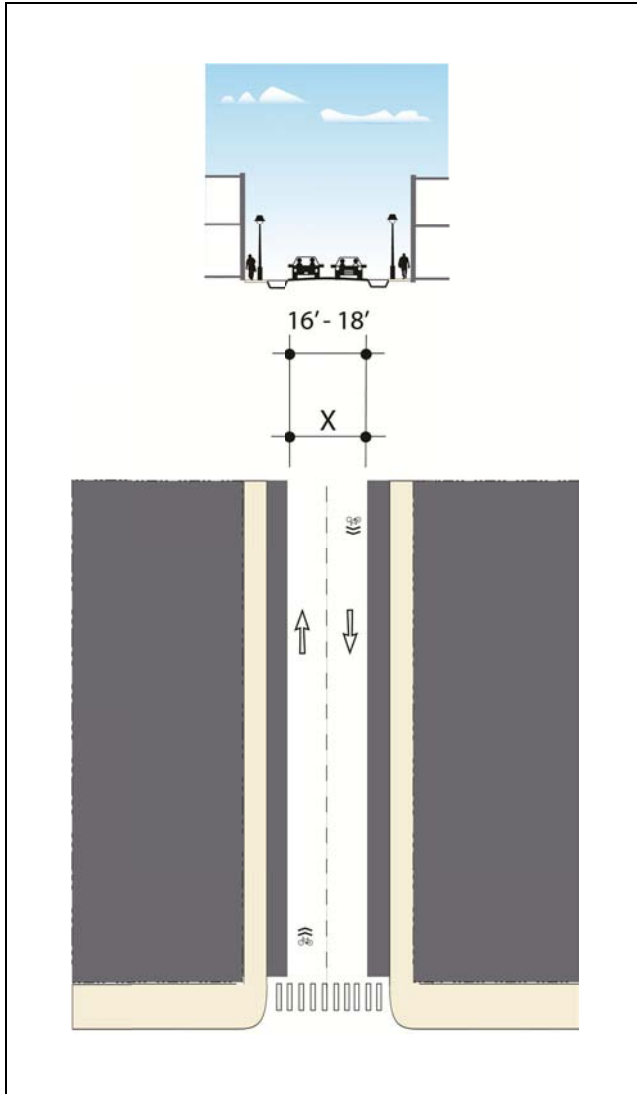


Fig. 10.707.17 - NG-2-0
 Two-way, no parking
 Travelway: 16' - 18'
 To be used in the Neighborhood General Sub-district

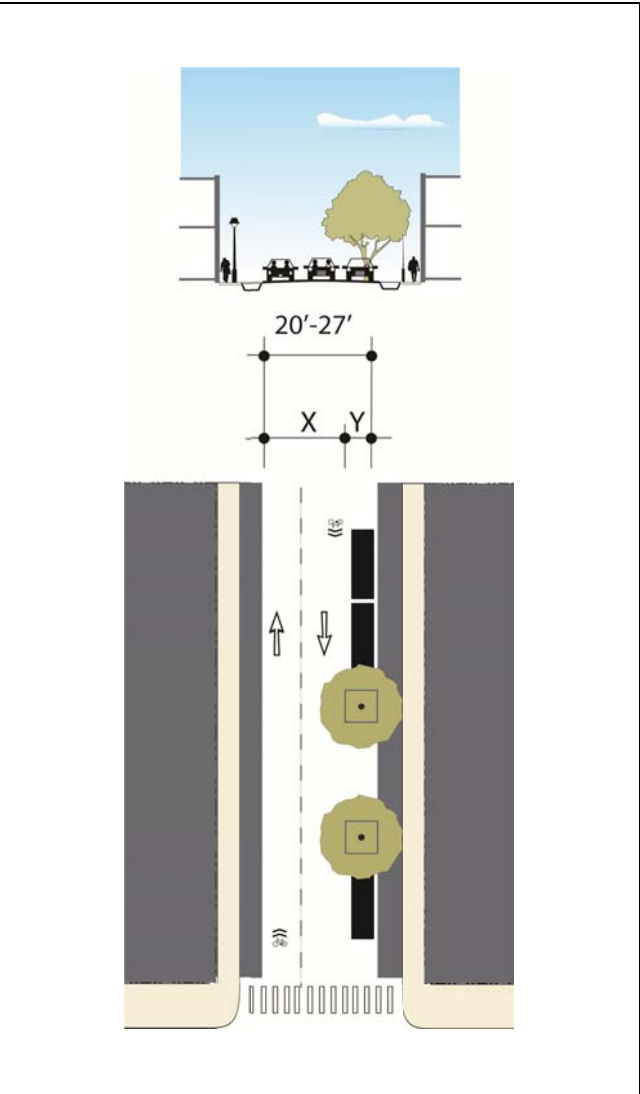


Fig. 10.707.18 - NG-2-1
 Two-way, one-side parked
 Travelway: 20' - 27'
 To be used in the Neighborhood General Sub-district

10.707.F Neighborhood Edge Sub-district Sample Thoroughfare Types

The following sections are approved for use in the Neighborhood Edge Sub-district. The sections prescribe the minimum dimensions needed for travelway and on-street parking. Frontage details (such as sidewalk and street trees) shall be added to each side, as space permits between existing buildings, in compliance with the standards established in 10.707.B.

Streets in the Neighborhood Edge Sub-district are the most auto-dominant, functioning mostly to move motor vehicle traffic, with little opportunities for pedestrian and bicycle movement due to the grades and sharp curves of the streets traversing the outer edge of Town. Streets within this zone will remain mostly auto-dominant and offer the least amount of walkability. Sidewalks should be constructed, where possible, but in some cases the street edge is inappropriate for such facilities.

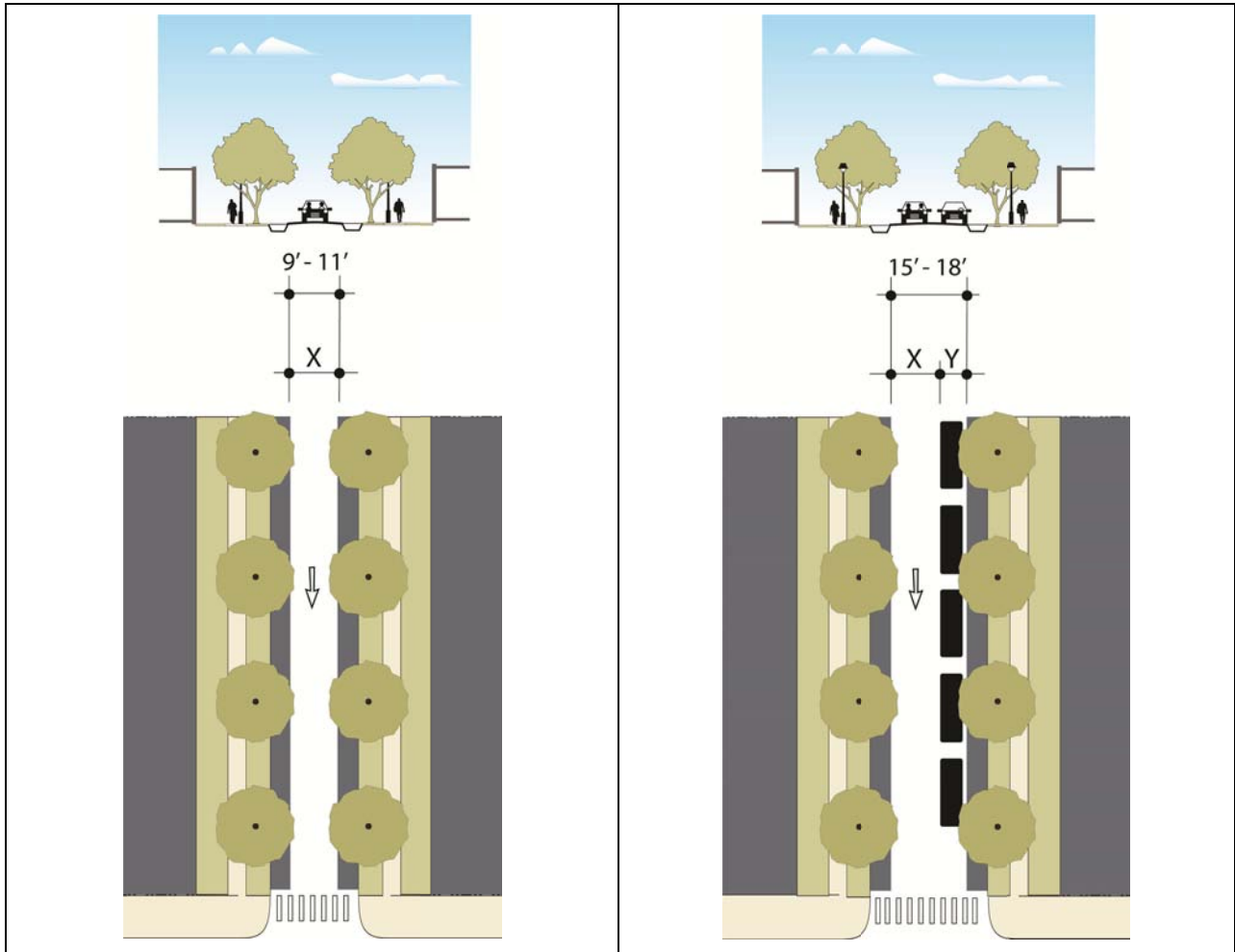


Fig. 10.707.19 - NE-1-0
One-way, no parking
Travelway: 9' - 11'
To be used in the Neighborhood Edge Sub-district

Fig. 10.707.20 - NE-1-1
One-way, one-side parked
Travelway: 15' - 18'
To be used in the Neighborhood Edge Sub-district

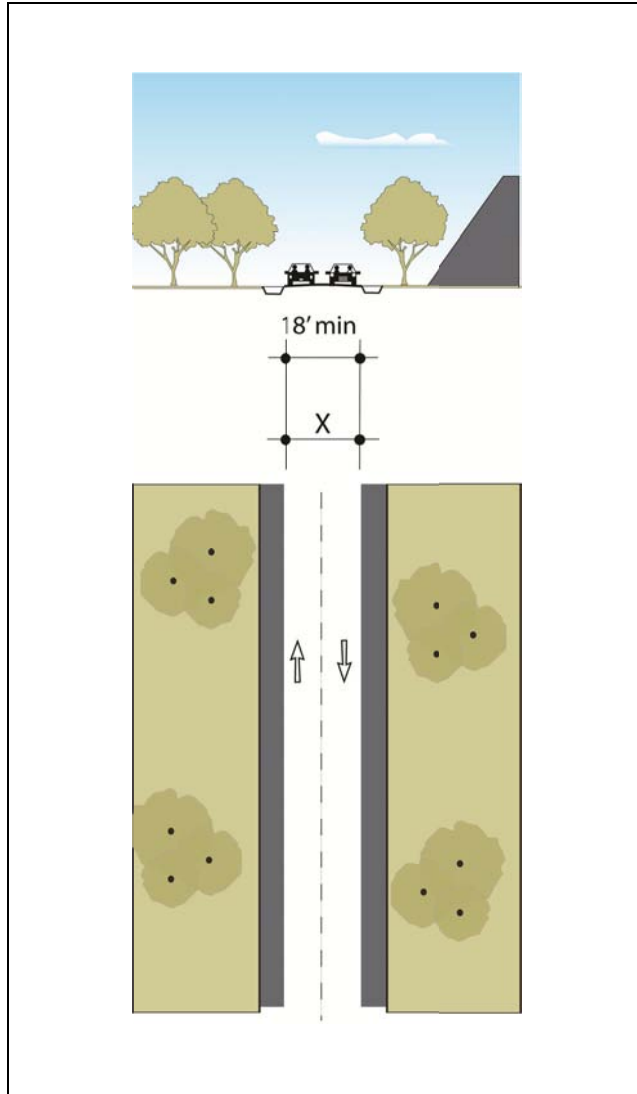


Fig. 10.707.21 – NE-2-0
 Two-way, no parking (Rural)
 Travelway: 18' min
 To be used in Neighborhood Edge Sub-district

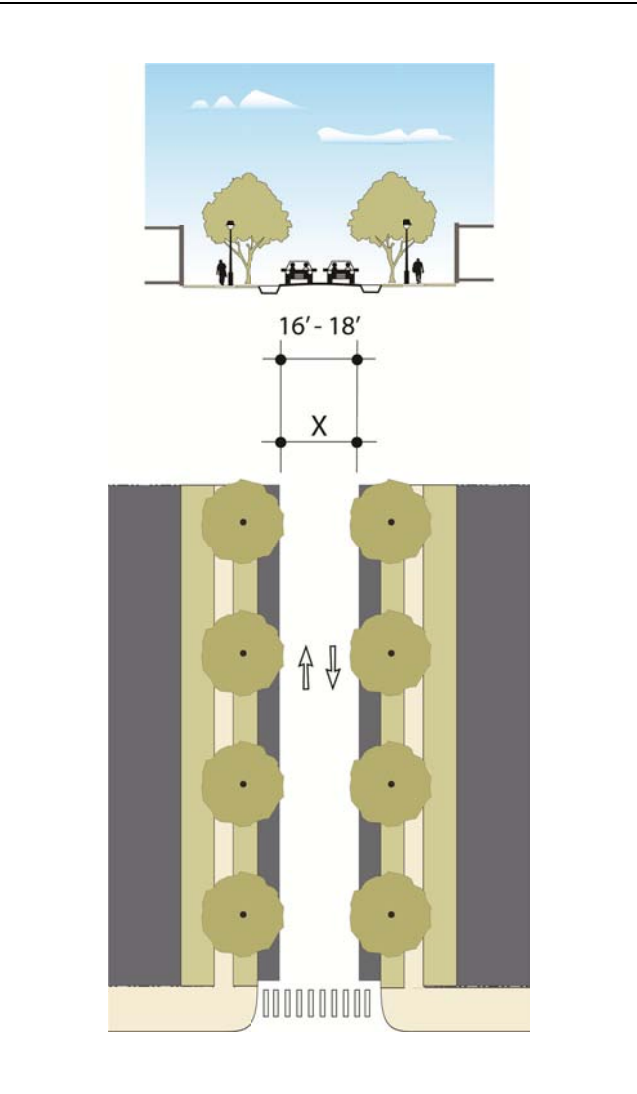


Fig. 10.707.22 – NE-2-0
 Two-way, no parking
 Travelway: 16' - 18'
 To be used in Neighborhood Edge Sub-district

Note: The rural road (Figure 10.707.26) shall be used specifically where nature or hillsides are adjacent to the thoroughfare. In this condition, walkability is minimal and the thoroughfare functions mostly to move motor-vehicles. Minimum lane widths are ideally greater in this setting, with a minimum of two 9' travel lanes, one in each direction.

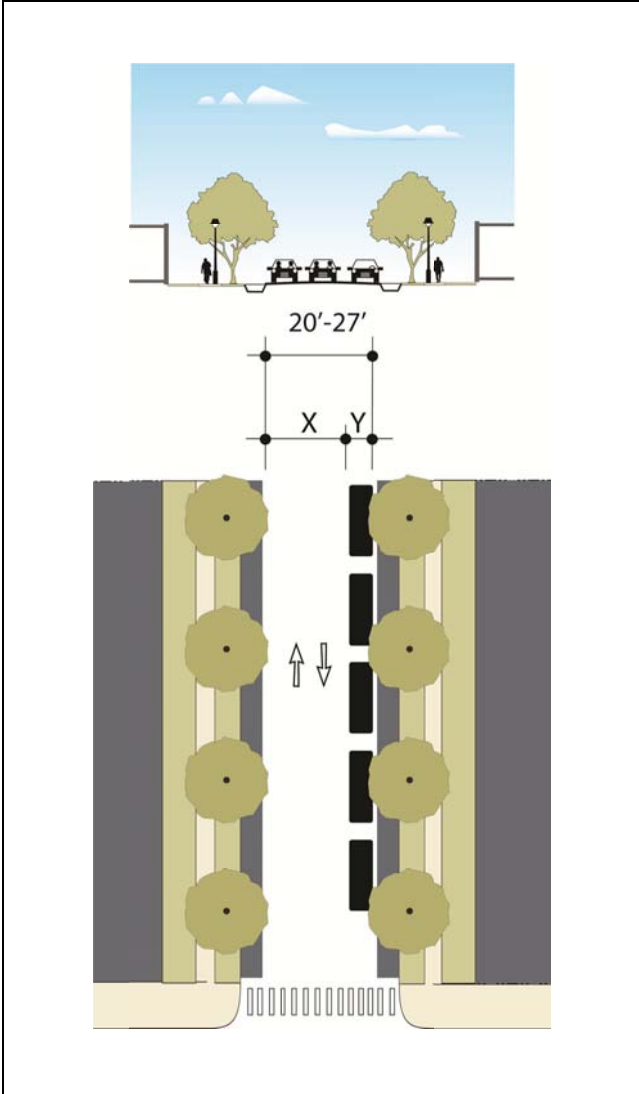


Fig. 10.707.23 - NE-2-1
Two-way, one-side parked
Travelway: 20' - 27'
To be used in the Neighborhood Edge Sub-district